

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN BUILDING RENOVATION/EXPANSION FOR

YORK COUNTY HISTORY CENTER

121 NORTH PERSHING AVE.
CITY OF YORK, YORK COUNTY, PENNSYLVANIA

PREPARED FOR:
YORK COUNTY HERITAGE TRUST
250 EAST MARKET STREET
YORK, PA 17403



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-245-1779) PRIOR TO ANY EXCAVATION AS REQUIRED BY THE PA ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 03, 2008.

DESIGN SERIAL NUMBER 2022153042 (CITY OF YORK)

COMCAST
C/O USFC LOCATING SERVICES, INC.
13080 HAMILTON CROSSING BOULEVARD, SUITE 200
CARMEL, IN, 46032
CONTACT: USFC PERSONNEL

VERIZON BUSINESS FORMERLY MCI
400 INTERNATIONAL PARKWAY
RICHARDSON, TX 75081
CONTACT: DEAN BOYERS
EMAIL: INVESTIGATIONS@VERIZON.COM

YORK WATER COMPANY
130 EAST MARKET STREET
YORK, PA 17401
CONTACT: TYLER CLEMENS
EMAIL: TYLER@YORKWATER.COM

YORK CITY
ACCOUNTS PAYABLE
1625 TORONITA STREET
YORK, PA 17402
CONTACT: CAROL GODFREY
EMAIL: CGODFREY@YORKCITY.ORG

VERIZON NORTH
37 W. 8TH STREET
WYOMING, PA 18844
CONTACT: RONALD SLINSKIE
EMAIL: RONALD.SLINSKIE@VERIZON.COM

COLUMBIA GAS OF PA INC
1600 DUBLIN ROAD
COLUMBUS, OH 43215
CONTACT: LISA COLLINS
EMAIL: LDUGAN@SOURCE.COM

FRONTIER COMMUNICATIONS OF PA INC.
300 E. LARD STREET
WILKES BARRE, PA 18702
CONTACT: MICHAEL NAWCH
EMAIL: MICHAEL.NAWCH@FRTR.COM

MET ED FIRSTENERGY
2800 FORTSMITH PIKE
READING, PA 19603
CONTACT: PETE HADDEM
EMAIL: PHADDEM@FIRSTENERGYCORP.COM

UNIFORM PARCEL IDENTIFIER		
LOT NO.	STREET ADDRESS	U.P.I.
COMBINED LOT		

CITY OF YORK ZONING OFFICER APPROVAL

APPROVED BY THE CITY OF YORK ZONING OFFICER, YORK COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____

ZONING OFFICER

CITY OF YORK PLANNING COMMISSION REVIEW

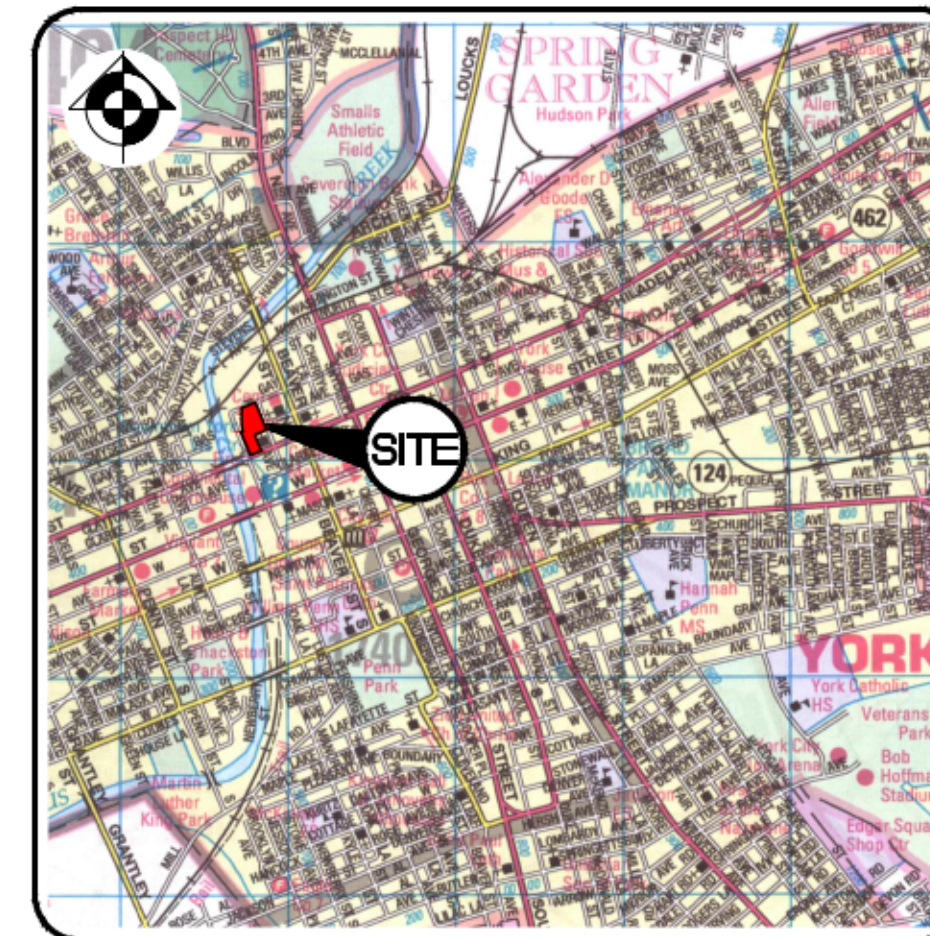
REVIEWED BY THE PLANNING COMMISSION OF THE CITY OF YORK, YORK COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____

CHAIRPERSON

WAIVER/MODIFICATION REQUEST

AT A MEETING HELD ON _____, 20____, THE CITY OF YORK COUNCIL APPROVED THE FOLLOWING WAIVERS/MODIFICATIONS FROM THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- SECTION 1333.03: WHICH REQUIRES SUBMISSION OF A PRELIMINARY PLAN. WAIVER/MODIFICATION IS REQUESTED TO SUBMIT COMBINED PRELIMINARY/FINAL PLANS.
- SECTIONS 1336.09 AND 1336.11: WHICH REQUIRE STREET TREES AND STREET LIGHTING. WAIVERS/MODIFICATIONS ARE REQUESTED AS THERE ARE NO OTHER TREES OR LIGHTING IN THE VICINITY.



LOCATION MAP
SCALE 1" = 2,000'

COPYRIGHT BY: ADD THE MAP PEOPLE (PERMITTED USE NUMBER BJE080722)

SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

DRANT ALLEN ANDERSON, P.L.S.
REGISTRATION NO. 301 075471-E
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE

SEAL

ENGINEER

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LAND DEVELOPMENT PLANS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

SCOTT T. DEBELL
REGISTRATION NO. PE 090631-E
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE

SEAL

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(OWNER - TAX MAP 45, PARCELS 6, 6A, AND 13)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,

APPEARED _____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY OF _____ YORK COUNTY HERITAGE TRUST, TO ME KNOWN OR PROVEN, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE NON-PROFIT IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE THE NON-PROFIT'S ACT AND PLAN, THAT THE NON-PROFIT DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

YORK COUNTY HERITAGE TRUST
250 EAST MARKET ST.
YORK, PA 17403

OFFICER

TITLE

NOTARY PUBLIC

NOTARY STAMP SEAL

CITY OF YORK COUNCIL APPROVAL

APPROVED BY THE CITY OF YORK COUNCIL, YORK COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____

PRESIDENT

CITY CLERK

YORK COUNTY PLANNING COMMISSION

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1988, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YCPC FILE NO. _____

THE CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

DIRECTOR, YORK COUNTY PLANNING COMMISSION

DATE

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN LAND RECORD BOOK _____, PAGE _____, ON THIS _____ DAY OF _____, 20____.

FINAL LAND DEVELOPMENT PLAN SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE
C-1	TITLE SHEET
C-2	PROJECT NOTES AND PLAN LEGEND
C-3	EXISTING SITE CONDITIONS AND DEMOLITION PLAN
C-4	SITE LAYOUT PLAN
C-5	SITE GRADING AND UTILITY PLAN
C-6	SITE DETAILS
C-7	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND PROFILES

NO. DATE COMMENTS

NO.

DATE

COMMENTS

site design concepts
LAND DEVELOPMENT CONSULTANTS
127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
t: 717.840.8205 • f: 717.840.8206 • WWW.SITEDCC.COM
Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

THE TITLE SHEET
PROJECT
BUILDING RENOVATION/EXPANSION
FOR
YORK COUNTY HISTORY CENTER
121 NORTH PERSHING AVE
CITY OF YORK, YORK COUNTY, PENNSYLVANIA

SCALE AS NOTED

DRAWN BY CIF

CHECKED BY TBE

CONTACT TBE

DATE 10.04.21

FILE NAME

1097-I-LD-1

JOB NO.

1097.1

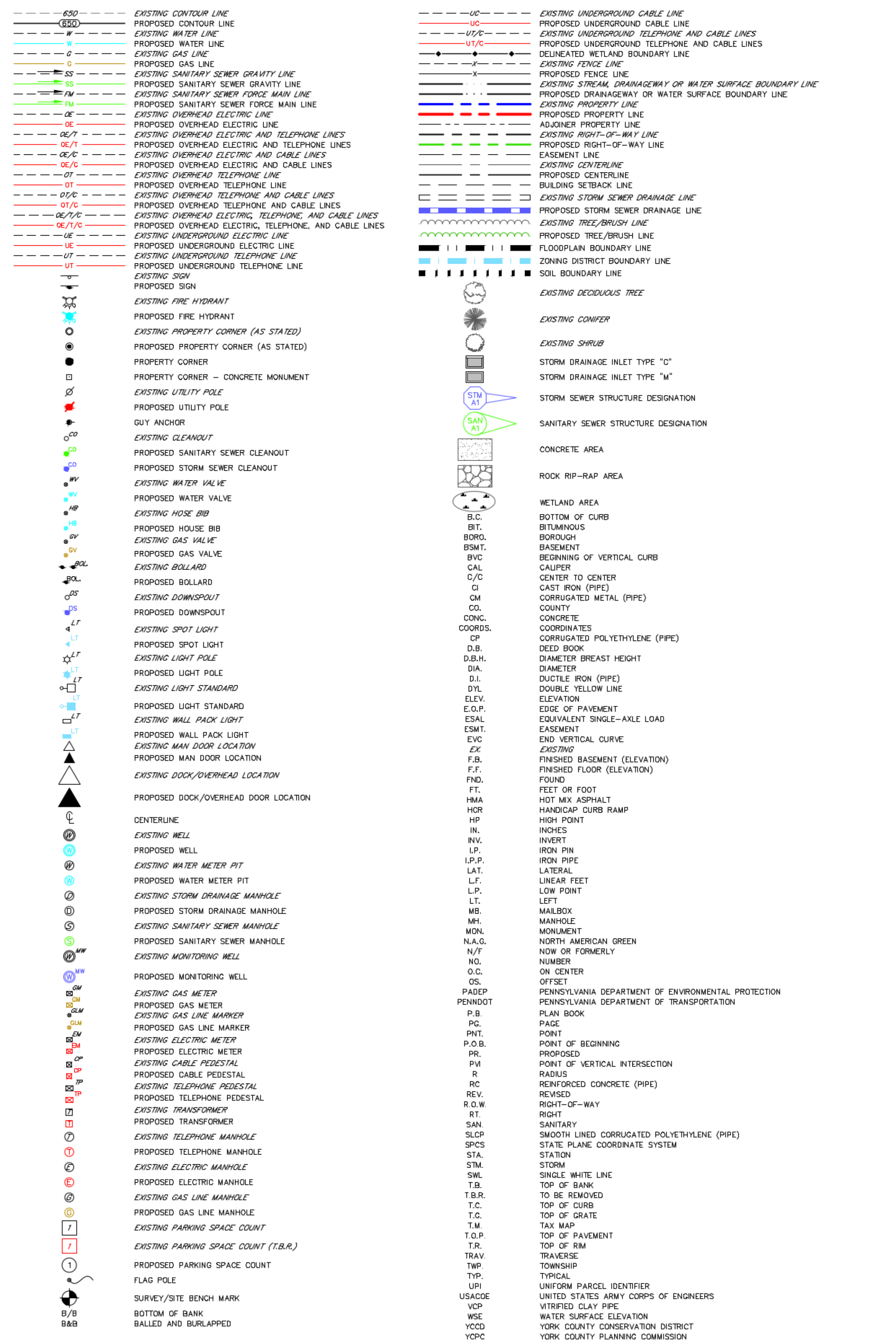
SHEET NO.

C-1

REV

PROGRESS DRAWING
(FOR REVIEW ONLY)

PLAN LEGEND



STORMWATER MANAGEMENT FACILITIES CONSTRUCTION NOTES (AS APPLICABLE)

- 1. SITE PREPARATION
2. EARTH FILL
3. CUTOFF TRENCH
4. EMBANKMENT CORE
5. STRUCTURE BACKFILL WITH FLOWABLE FILL
6. PIPE CONDUITS
7. REINFORCED CONCRETE PIPE
8. PLASTIC PIPE
9. OTHER DETAILS
10. CONCRETE STRUCTURES
11. ROCK RIP-RAP

GENERAL CONSTRUCTION NOTES

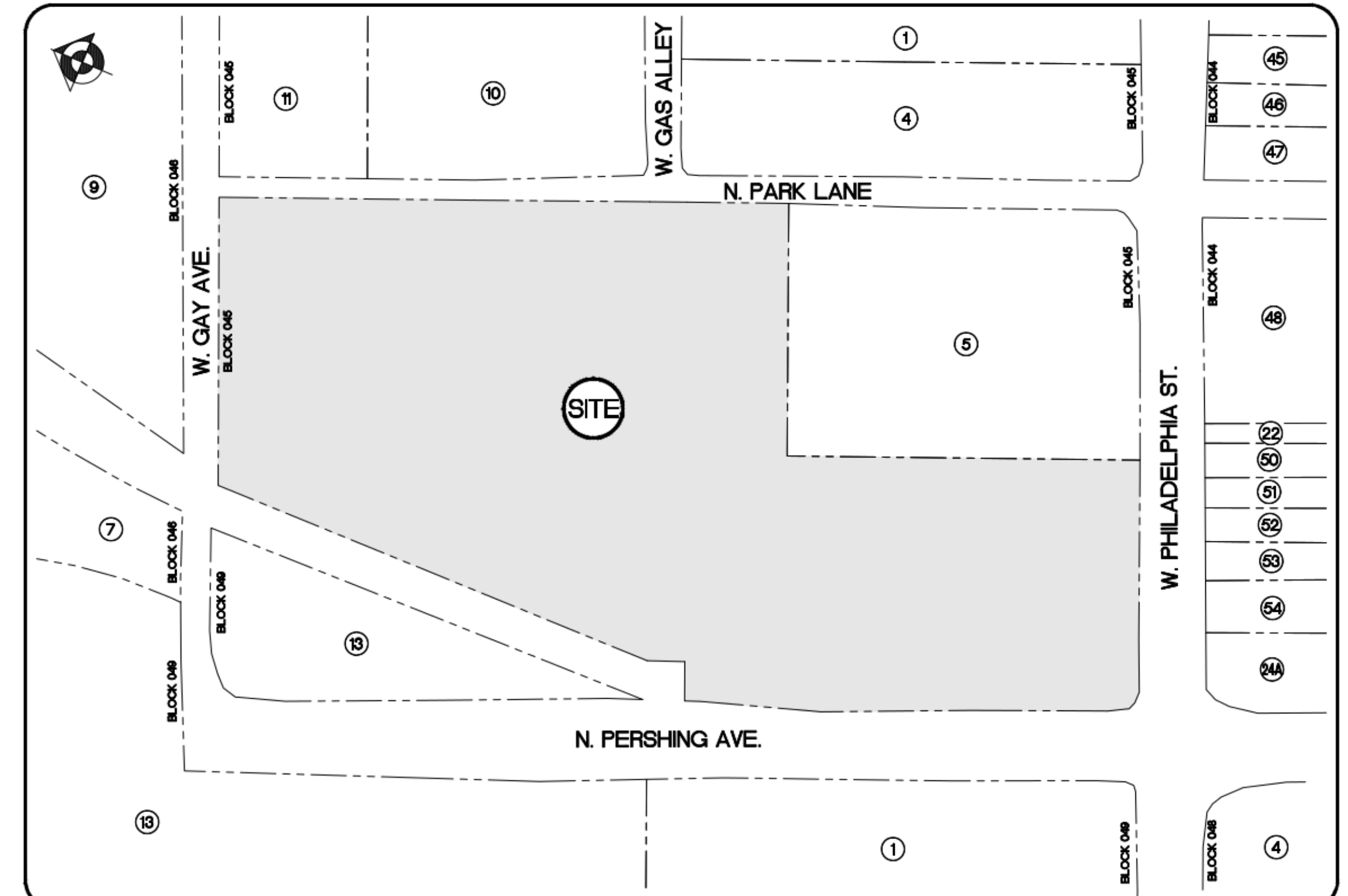
- 1. PRIOR TO COMMENCEMENT OF PROJECT, CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE OF WORK WITH THE OWNER, PROPERTY OWNERS, AND ADJOINING PROPERTY OWNERS THAT WILL BE AFFECTED BY CONSTRUCTION ACTIVITIES.
2. DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO SITE DESIGN CONCEPTS, INC. PRIOR TO CONSTRUCTION.
3. EXTREME CARE SHOULD BE TAKEN DURING SITE DEMOLITION AND CONSTRUCTION ACTIVITIES SO AS NOT TO DISTURB EXISTING PROPERTY CORNER MONUMENTATION...

GENERAL LAND DEVELOPMENT NOTES

- 1. THE PURPOSE OF THIS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN IS TO DEPICT THE REDEVELOPMENT OF THE FORMER M&D STEAM PLANT DESIGNATED FOR REDEVELOPMENT IMPROVEMENTS AT THE CORNER OF N. PERSHING AVE. AND W. PHILADELPHIA ST. IN YORK COUNTY, PA.
2. PARCEL INFORMATION
3. EXISTING LAND TRACT IS ZONED: CBD, CENTRAL BUSINESS DISTRICT WITH HISTORICAL ARCHITECTURAL REVIEW BOARD OVERLAY
4. ADJACENT LAND TRACTS ARE ZONED: NORTH CBD, CENTRAL BUSINESS DISTRICT SOUTH CBD, CENTRAL BUSINESS DISTRICT EAST CBD, CENTRAL BUSINESS DISTRICT WEST CBD, CENTRAL BUSINESS DISTRICT

UTILITY NOTES

- 1. WHERE ANY PART OF THE PROPOSED STORM DRAIN SYSTEM IS TO BE CONSTRUCTED WITHIN A FILL SECTION, THE CONTRACTOR SHALL COMPACT ALL SELECT FILL MATERIAL TO 95% OF ASTM D-698 (ASTM D-1557) WITH A MOISTURE CONTENT +/- 3% OF OPTIMUM UP TO THE PIPE BEDDING.
2. CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITY SERVICES WITHOUT PRIOR APPROVAL FROM THE UTILITY PROVIDER.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE (1) FOOT OF CLEARANCE BETWEEN ALL UTILITIES AND A MINIMUM TWO (2) FEET OF CLEARANCE BETWEEN UTILITIES AND UTILITY POLES UNLESS OTHERWISE NOTED HEREON.
5. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY OR THE SEWER AUTHORITY.

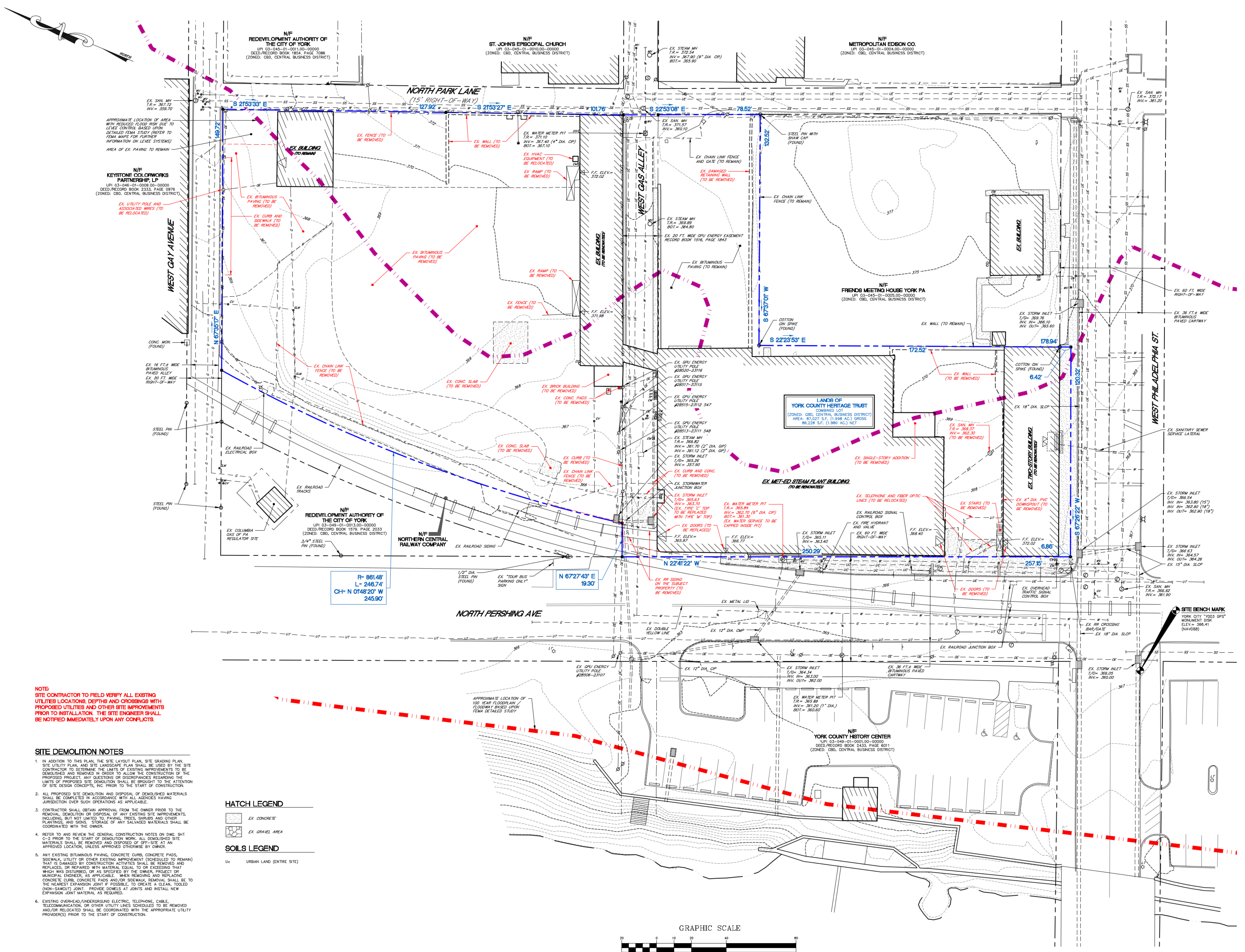


ADJACENT PROPERTY OWNERS VICINITY MAP SCALE: 1" = 60'

Table with columns: BLOCK/PARCEL NO., UPR, ADJOINING PARCEL INFORMATION (OWNER'S (NOW OR FORMERLY)), DEED / RECORD BOOK, PROPERTY ADDRESS. Lists various parcels and owners in the vicinity.

Vertical sidebar containing project information: PROJECT NOTES AND PLAN LEGEND, BUILDING RENOVATION/EXPANSION FOR YORK COUNTY HISTORY CENTER, site design consultants (SOL), and other administrative details.

PROGRESS DRAWING (FOR REVIEW ONLY)



NOTE
 SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON ANY CONFLICTS.

SITE DEMOLITION NOTES

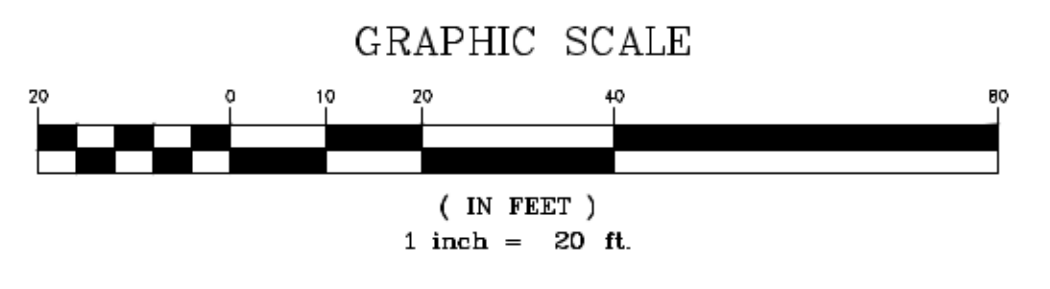
- IN ADDITION TO THIS PLAN, THE SITE LAYOUT PLAN, SITE GRADING PLAN, SITE UTILITY PLAN, AND SITE LANDSCAPE PLAN SHALL BE USED BY THE SITE CONTRACTOR TO DETERMINE THE LIMITS OF EXISTING IMPROVEMENTS TO BE DEMOLISHED AND REMOVED IN ORDER TO ALLOW THE CONSTRUCTION OF THE PROPOSED PROJECT. ANY QUESTIONS OR DISCREPANCIES REGARDING THE LIMITS OF PROPOSED SITE DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE SITE DESIGN CONCEPTS, INC. PRIOR TO THE START OF CONSTRUCTION.
- ALL PROPOSED SITE DEMOLITION AND DISPOSAL OF DEMOLISHED MATERIALS SHALL BE COMPLETED IN ACCORDANCE WITH ALL AGENCIES HAVING JURISDICTION OVER SUCH OPERATIONS AS APPLICABLE.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER PRIOR TO THE REMOVAL, DEMOLITION OR DISPOSAL OF ANY EXISTING SITE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, PAVING, TREES, SHRUBS AND OTHER PLANTINGS, AND SIGNS. STORAGE OF ANY SALVAGED MATERIALS SHALL BE COORDINATED WITH THE OWNER.
- REFER TO AND REVIEW THE GENERAL CONSTRUCTION NOTES ON DWG. SHT. C-2 PRIOR TO THE START OF DEMOLITION WORK. ALL DEMOLISHED SITE MATERIALS SHALL BE REMOVED AND DISPOSED OF ON-SITE AT AN APPROVED LOCATION, UNLESS APPROVED OTHERWISE BY OWNER.
- ANY EXISTING BITUMINOUS PAVING, CONCRETE CURB, CONCRETE PADS, SIDEWALK, UTILITY OR OTHER EXISTING IMPROVEMENT (SCHEDULED TO REMAIN) THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED, OR REPAIRED WITH MATERIAL EQUAL TO OR EXCEEDING THAT WHICH WAS DISTURBED, OR AS SPECIFIED BY THE OWNER, PROJECT OR MUNICIPAL ENGINEER, AS APPLICABLE. WHEN REMOVING AND REPLACING CONCRETE CURB, CONCRETE PADS AND/OR SIDEWALK, REMOVAL SHALL BE TO THE NEAREST EXPANSION JOINT IF POSSIBLE, TO CREATE A CLEAN, TOOLED (NON-SAWCUT) JOINT. PROVIDE DOWELS AT JOINTS AND INSTALL NEW EXPANSION JOINT MATERIAL AS REQUIRED.
- EXISTING OVERHEAD/UNDERGROUND ELECTRIC, TELEPHONE, CABLE, TELECOMMUNICATION, OR OTHER UTILITY LINES SCHEDULED TO BE REMOVED AND/OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER(S) PRIOR TO THE START OF CONSTRUCTION.

HATCH LEGEND

- EX. CONCRETE
- EX. GRAVEL AREA

SOILS LEGEND

- URBAN LAND (ENTIRE SITE)



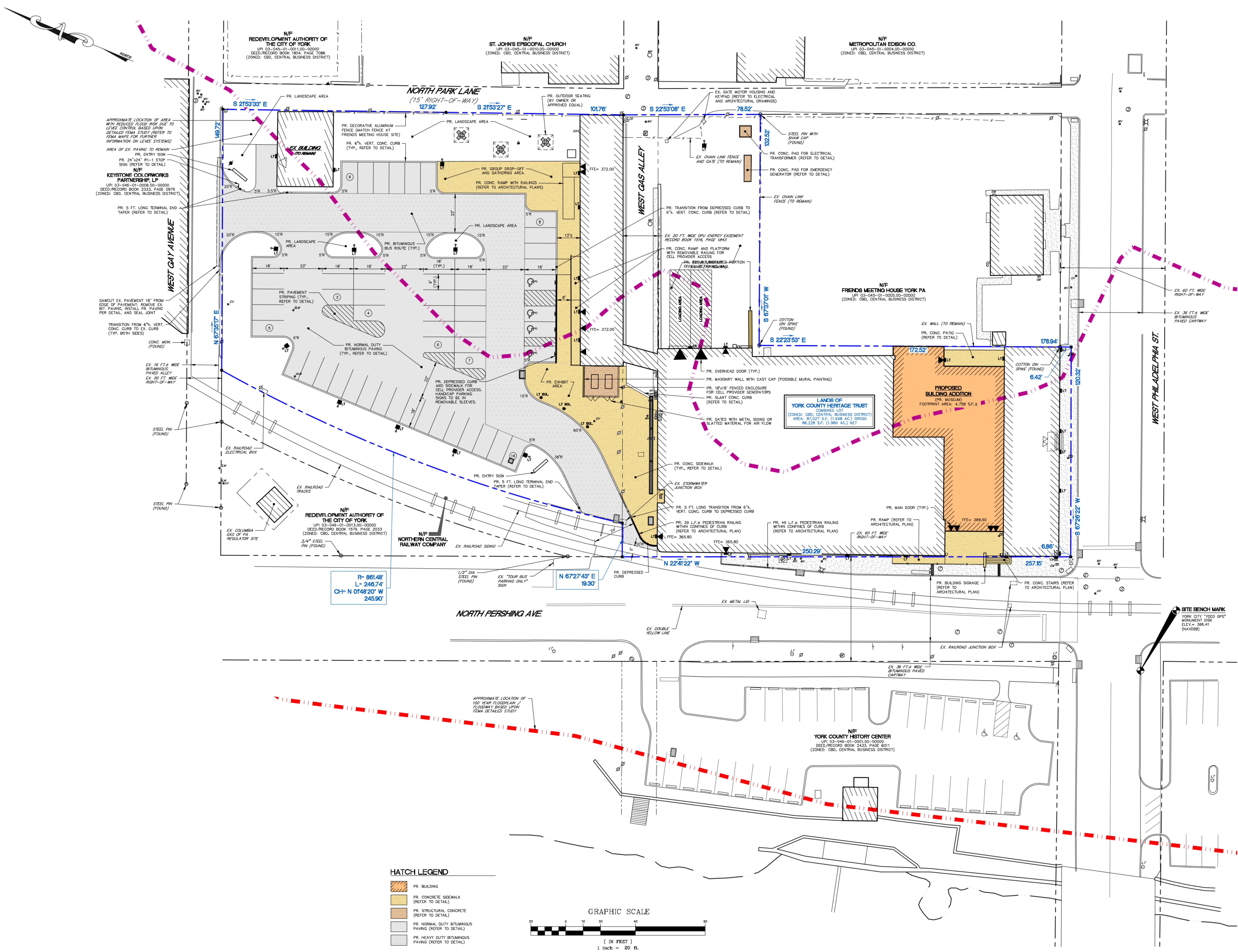
PROGRESS DRAWING
 (FOR REVIEW ONLY)

NO.	DATE	REVISIONS	COMMENTS

site design concepts
 LAND DEVELOPMENT CONSULTANTS
 127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
 T: 717.840.8206 • F: 717.840.8208 • WWW.SITEDC.COM
 Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

EXISTING SITE CONDITIONS AND DEMOLITION PLAN
 FOR
BUILDING RENOVATION/EXPANSION OF YORK COUNTY HISTORY CENTER
 121 NORTH PERSHING AVE
 CITY OF YORK, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	CIF
CHECKED BY	TBE
CONTACT	TBE
DATE	10.04.21
FILE NAME	1097.1-LD-1
JOB NO.	1097.1
SHEET NO.	C-3



APPROXIMATE LOCATION OF AREA WITH REDUCED FLOOD RISK DUE TO LEVEE CONTROL BASED UPON DETAILED FEMA STUDY (REFER TO FEMA MAPS FOR FURTHER INFORMATION ON LEVEE SYSTEMS)

AREA OF EX. PAVING TO REMAIN
PR. ENTRY SIGN
PR. 24"x24" R1-1 STOP SIGN (REFER TO DETAIL)

KEYSTONE COLORWORKS PARTNERSHIP, LP
UPI 03-046-01-0000-00-0000
DEED/RECORD BOOK 2333, PAGE 0978
(ZONED: CBD, CENTRAL BUSINESS DISTRICT)

PR. 5 FT. LONG TERMINAL END TAPER (REFER TO DETAIL)

SAWCUT EX. PAVEMENT 18" FROM EDGE OF PAVEMENT REMOVE EX. BIT PAVING, INSTALL PR. PAVING PER DETAIL AND SEAL JOINT

PR. 16 FT. & WIDE BITUMINOUS PAVED ALLEY
EX. 20 FT. WIDE RIGHT-OF-WAY

PR. CONC. SIDEWALK (TYP., REFER TO DETAIL)

REDEVELOPMENT AUTHORITY OF THE CITY OF YORK
UPI 03-046-01-0000-00-0000
DEED/RECORD BOOK 1578, PAGE 2033
(ZONED: CBD, CENTRAL BUSINESS DISTRICT)

R= 861.48'
L= 246.74'
CH+ N 0748'20" W
245.90'

NORTH PERSHING AVE

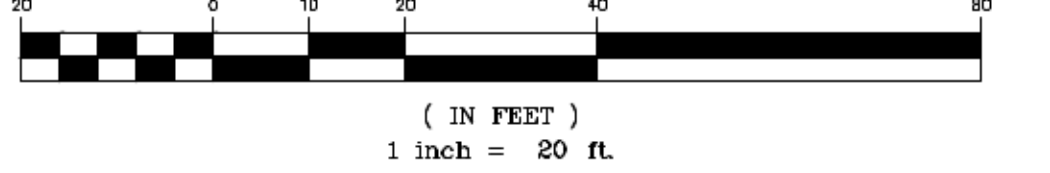
NORTHERN CENTRAL RAILWAY COMPANY

YORK COUNTY HISTORY CENTER
UPI 03-046-01-0001-00-0000
DEED/RECORD BOOK 2433, PAGE 6011
(ZONED: CBD, CENTRAL BUSINESS DISTRICT)

HATCH LEGEND

- PR. BUILDING
- PR. CONCRETE SIDEWALK (REFER TO DETAIL)
- PR. STRUCTURAL CONCRETE (REFER TO DETAIL)
- PR. NORMAL DUTY BITUMINOUS PAVING (REFER TO DETAIL)
- PR. HEAVY DUTY BITUMINOUS PAVING (REFER TO DETAIL)

GRAPHIC SCALE



NO.	DATE	REVISIONS	COMMENTS

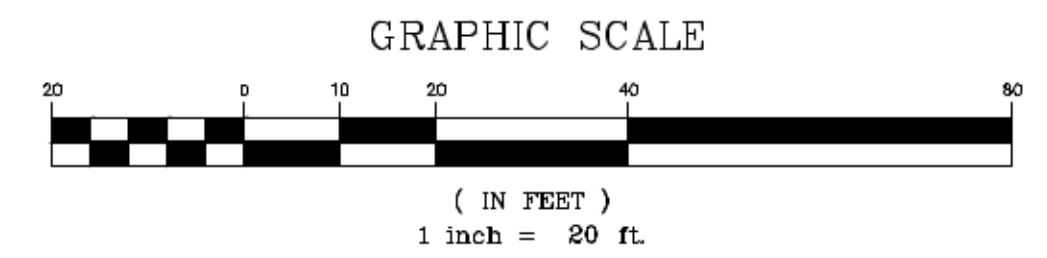
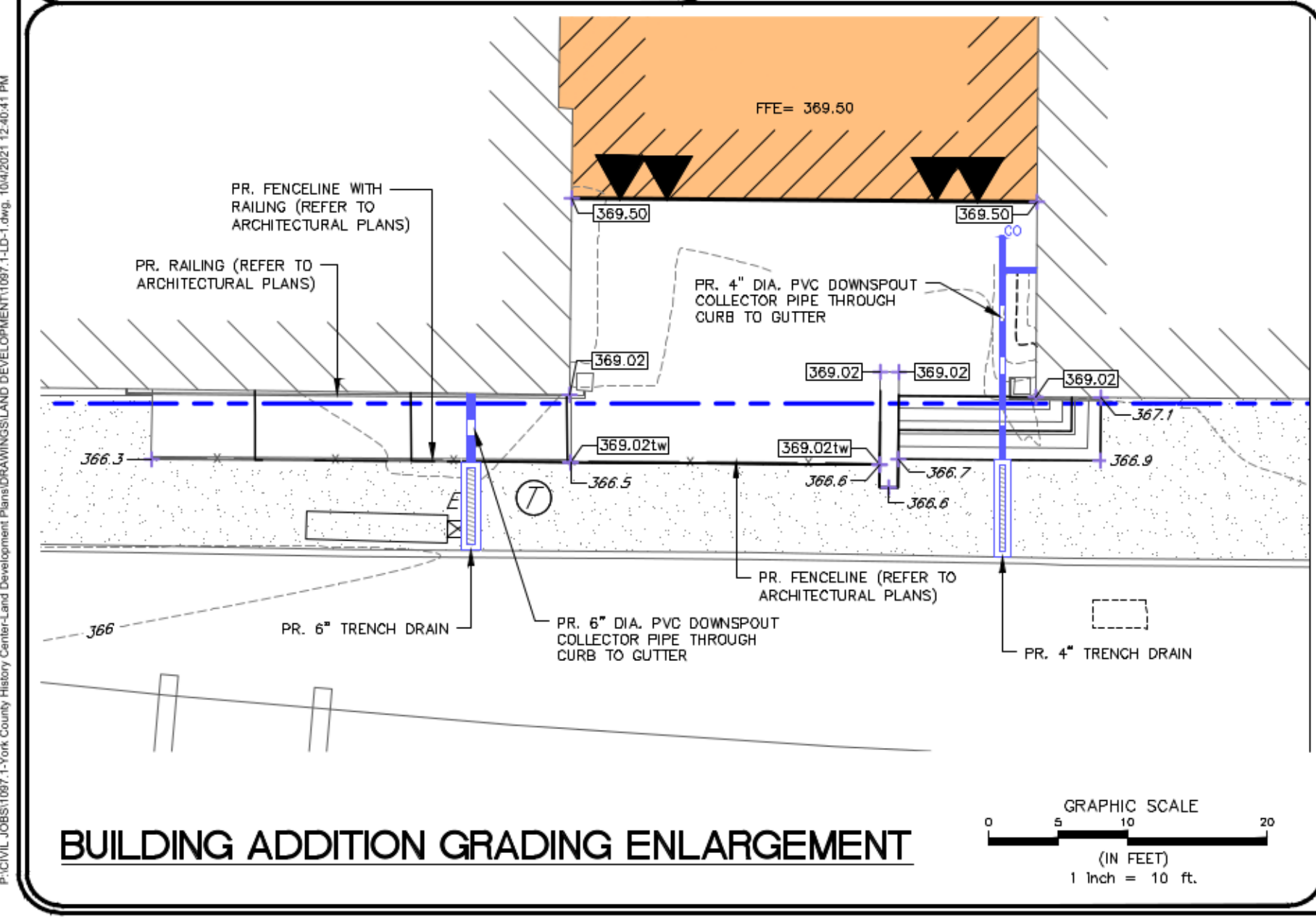
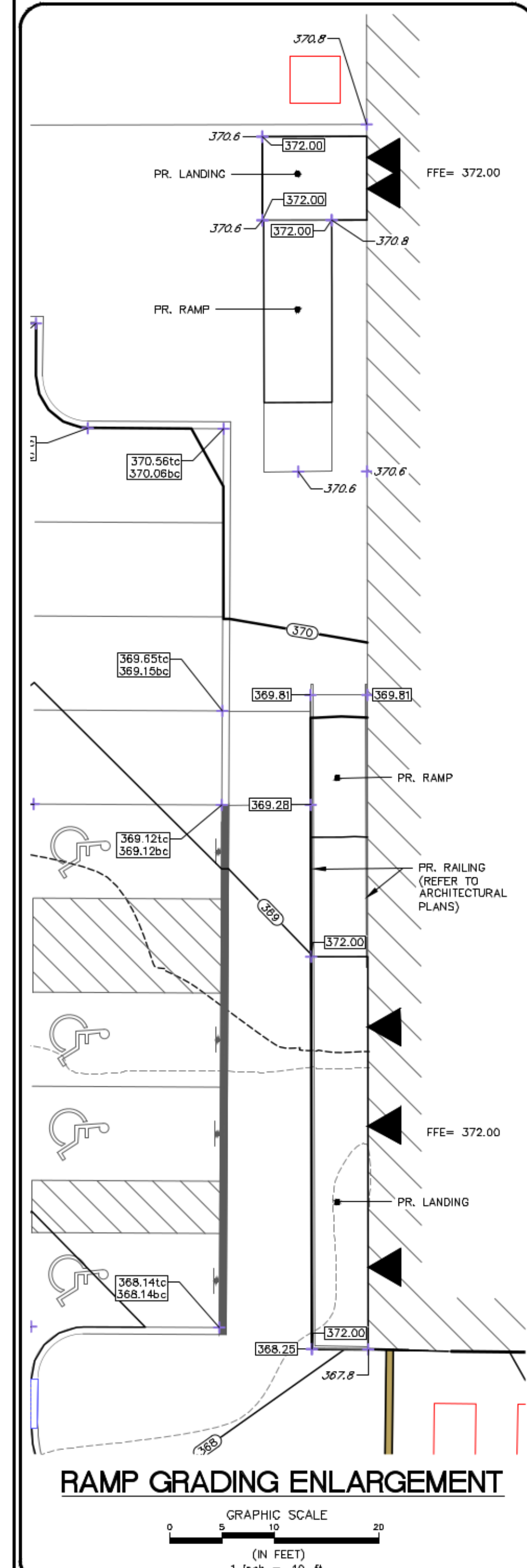
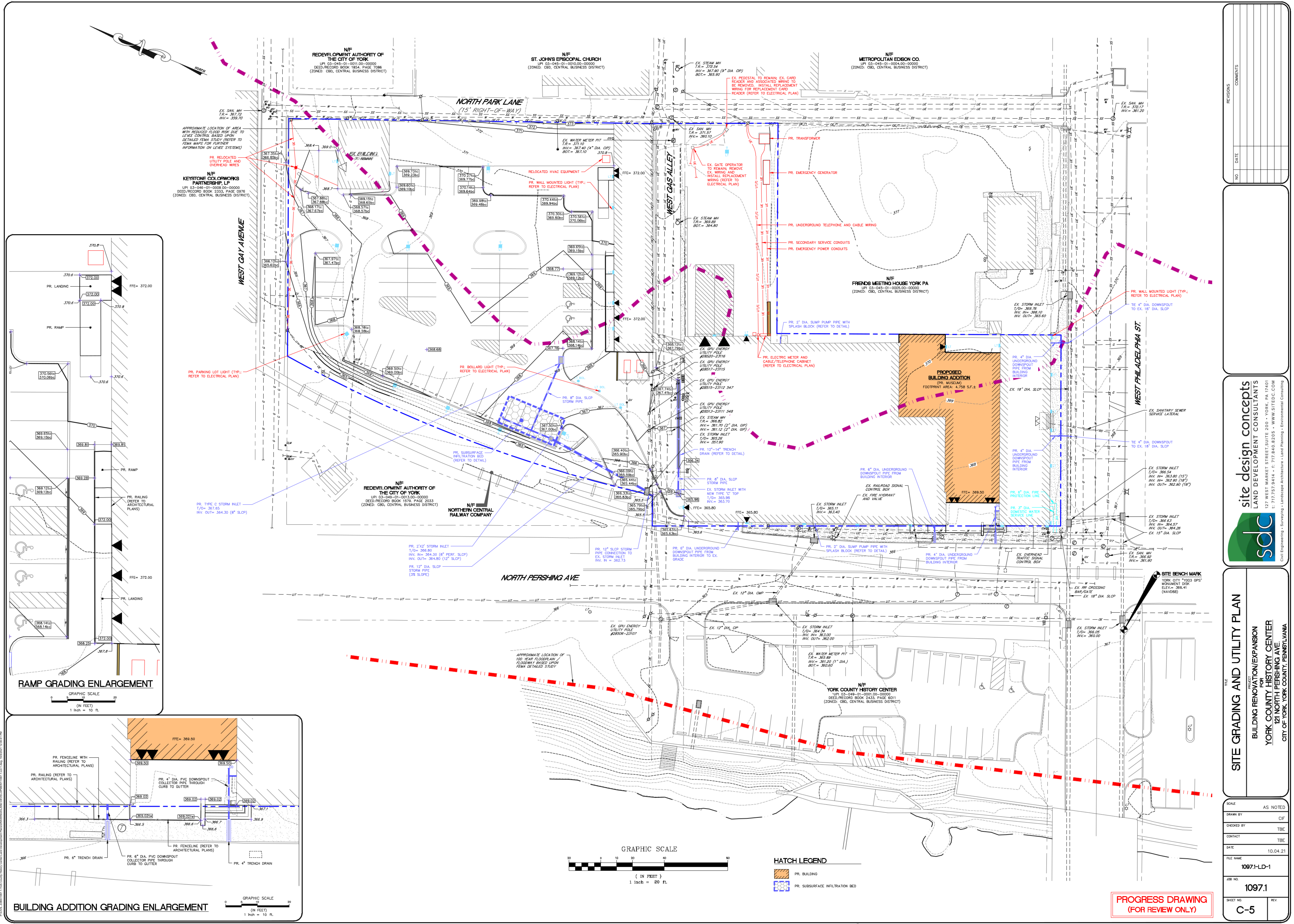
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SITE LAYOUT PLAN
PROJECT:
BUILDING RENOVATION/EXPANSION FOR YORK COUNTY HISTORY CENTER
121 NORTH PERSHING AVE
CITY OF YORK, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
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SHEET NO.	C-4

PROGRESS DRAWING
(FOR REVIEW ONLY)

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HATCH LEGEND

[Hatched Box]	PR. BUILDING
[Dotted Box]	PR. SUBSURFACE INFILTRATION BED

**PROGRESS DRAWING
(FOR REVIEW ONLY)**

NO.	DATE	REVISIONS	COMMENTS

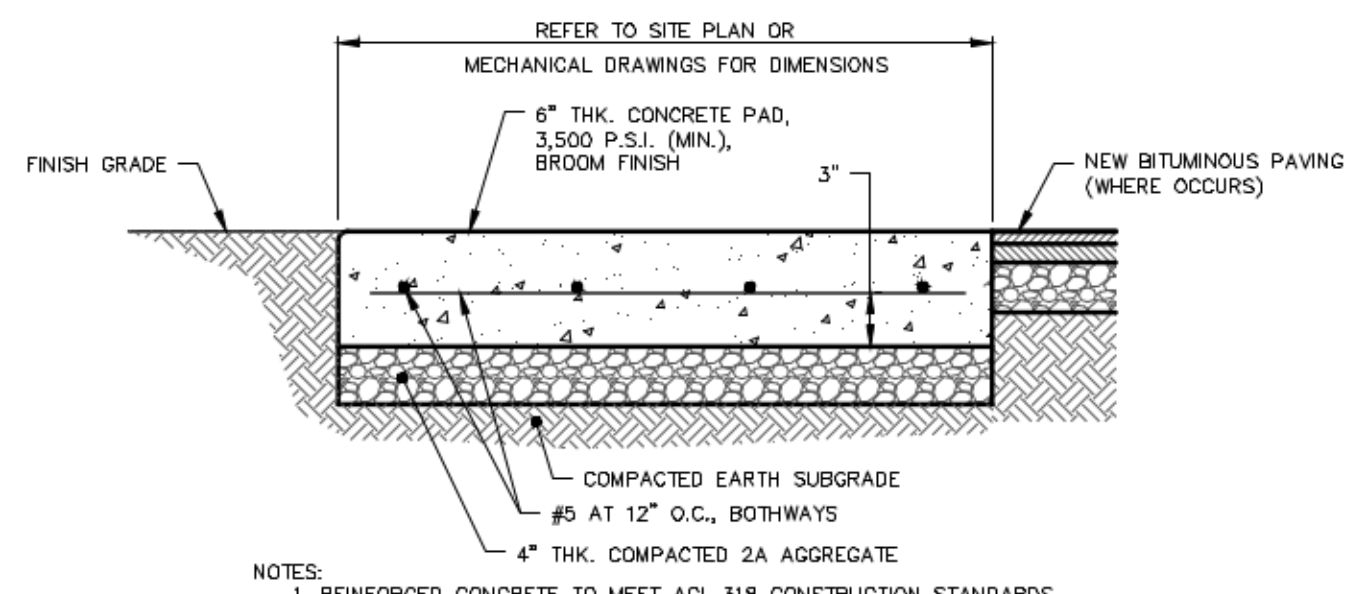
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LAND DEVELOPMENT CONSULTANTS

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t: 717.840.8205 • f: 717.840.8206 • WWW.SITEDC.COM
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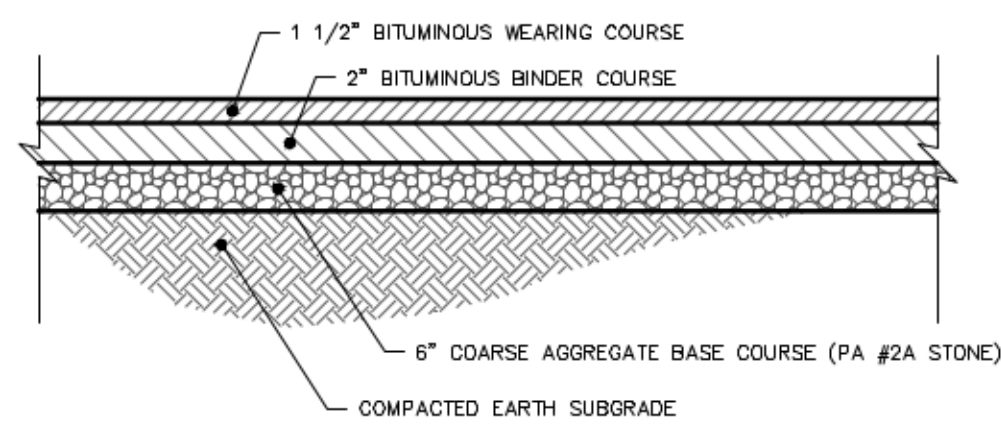
SITE GRADING AND UTILITY PLAN
FOR
BUILDING RENOVATION/EXPANSION
FOR
YORK COUNTY HISTORY CENTER
121 NORTH PERSHING AVE
CITY OF YORK, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
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JOB NO.	1097.1
SHEET NO.	C-5
REV	

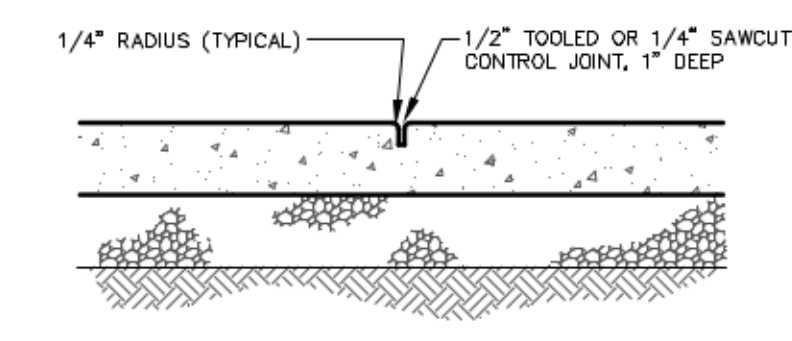
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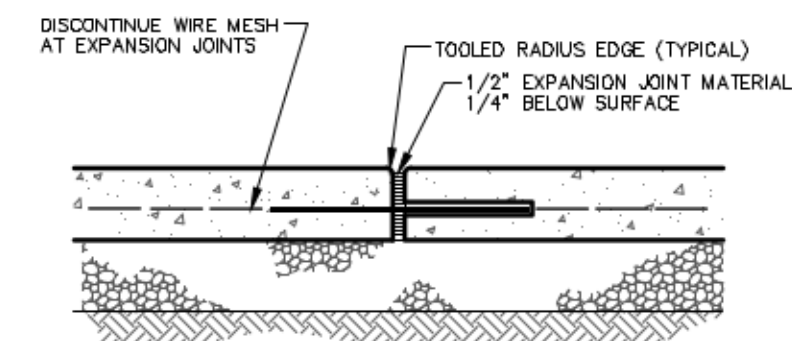
TYPICAL CONCRETE MECHANICAL EQUIPMENT PAD
NO SCALE



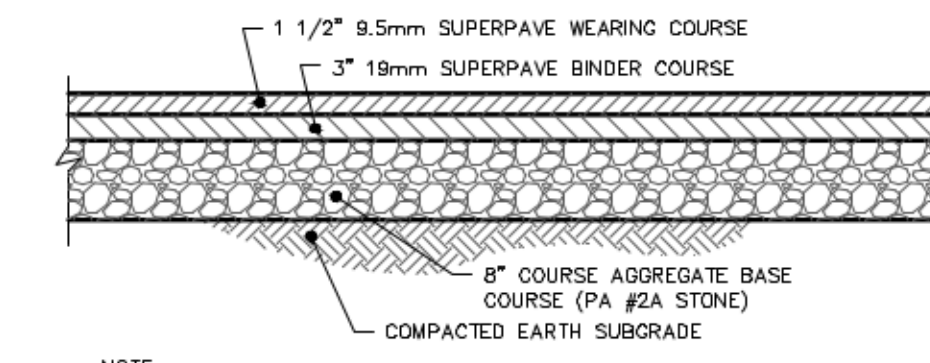
TYPICAL NORMAL DUTY BITUMINOUS PAVING SECTION
NO SCALE



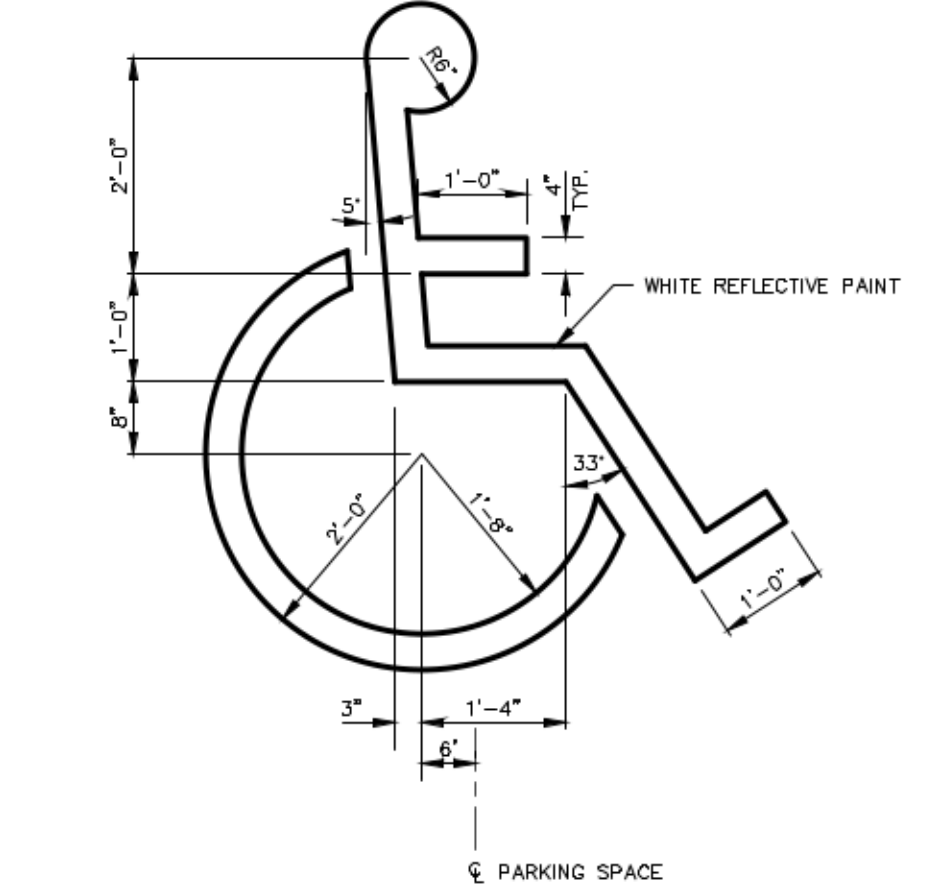
TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL
NO SCALE J-103



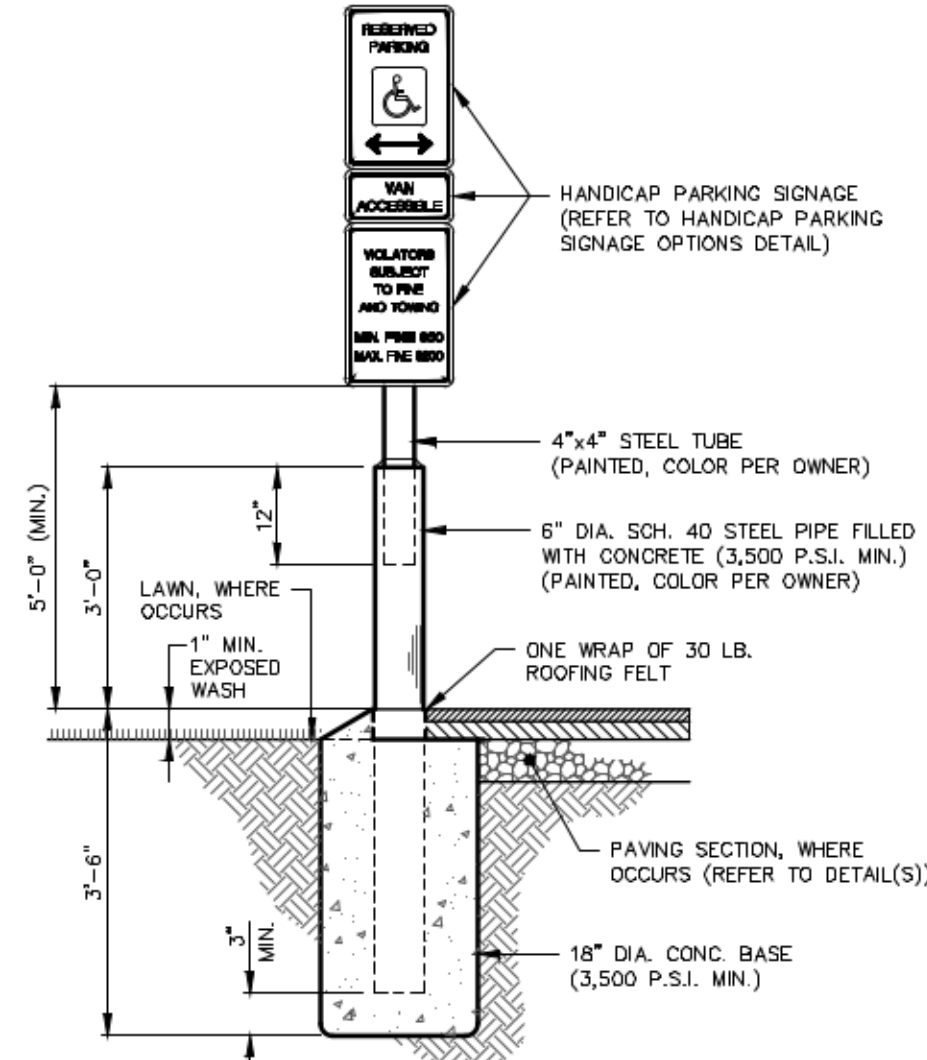
TYPICAL CONCRETE EXPANSION JOINT DETAIL
NO SCALE J-102



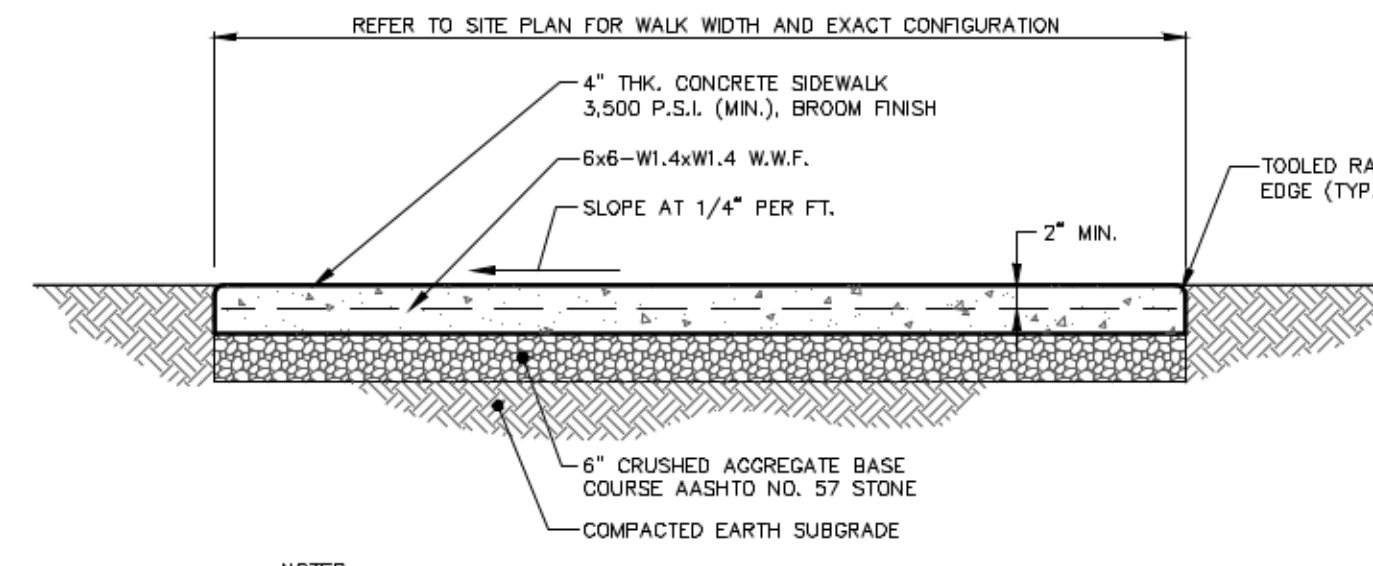
TYPICAL HEAVY DUTY BITUMINOUS PAVING SECTION
NO SCALE



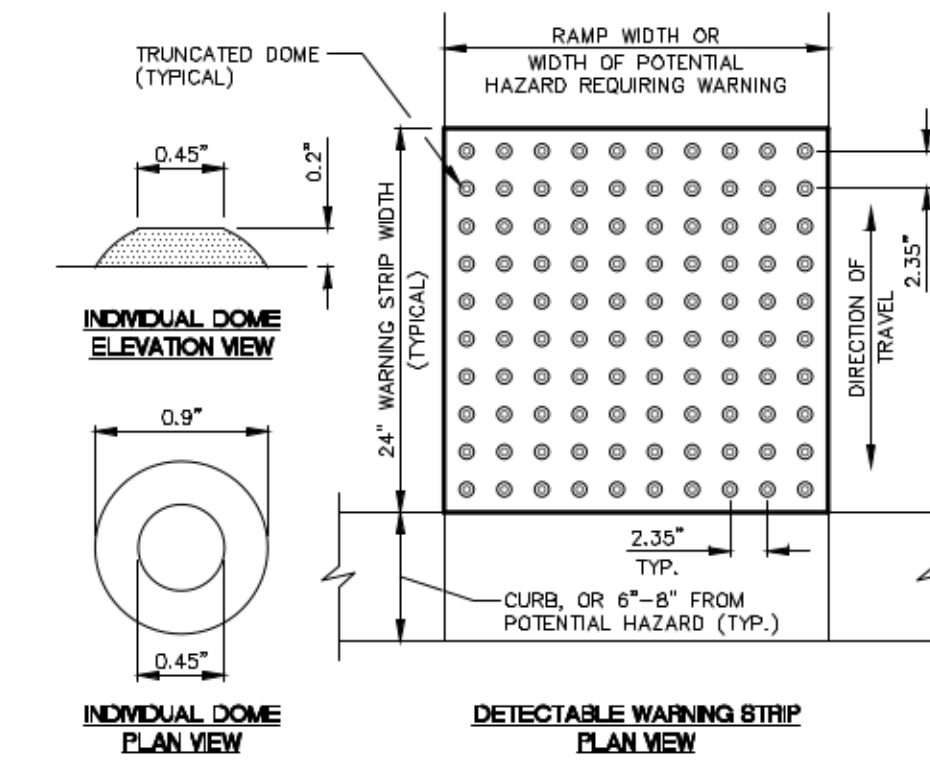
INTERNATIONAL HANDICAP PARKING SPACE SYMBOL
NO SCALE



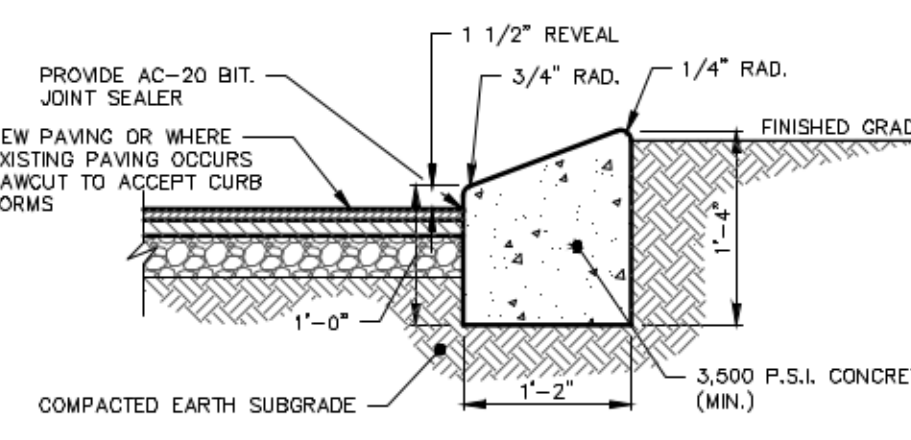
TYPICAL HANDICAP PARKING SIGN WITH BOLLARD PROTECTION
NO SCALE



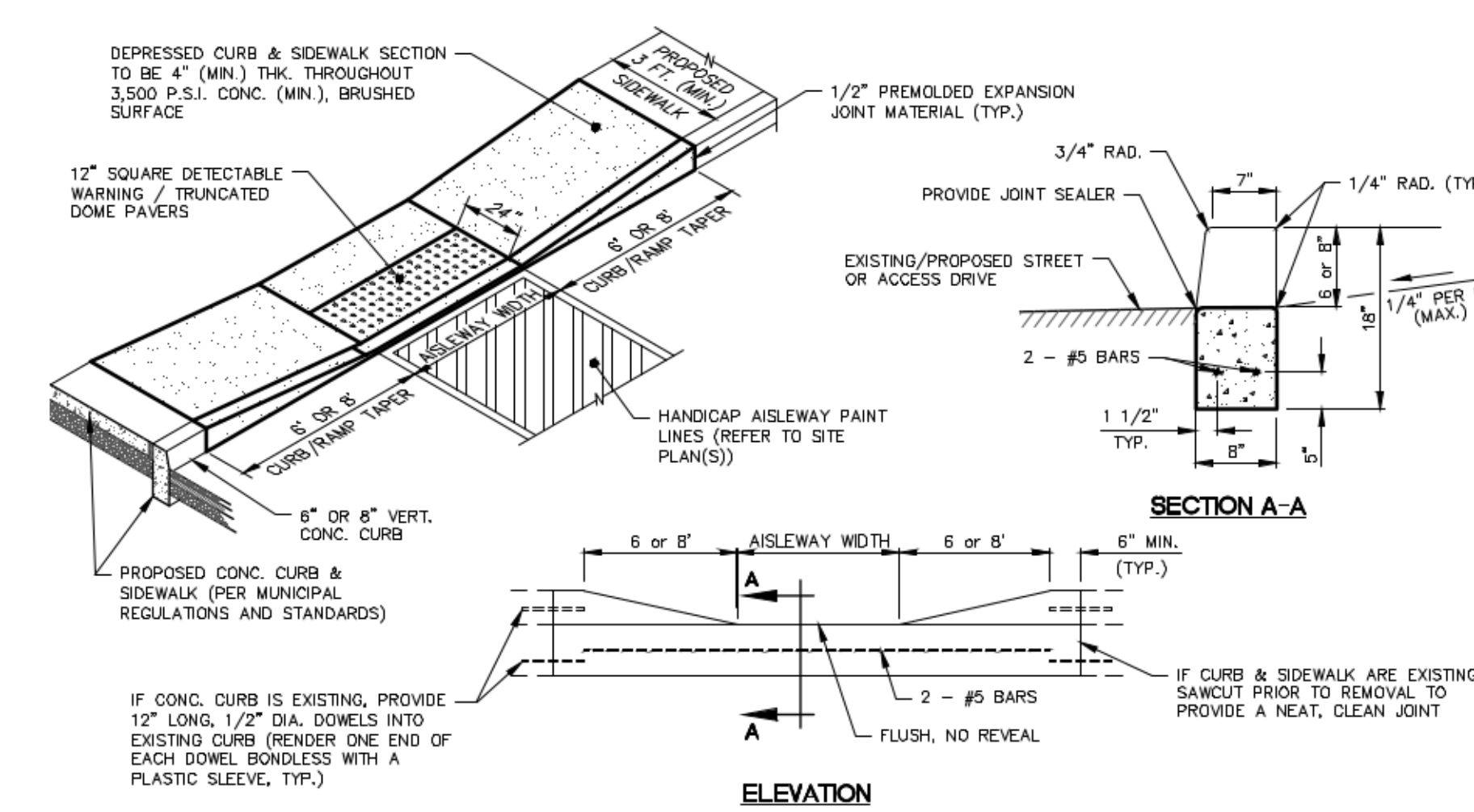
TYPICAL CONCRETE SIDEWALK/PATIO DETAIL
NO SCALE



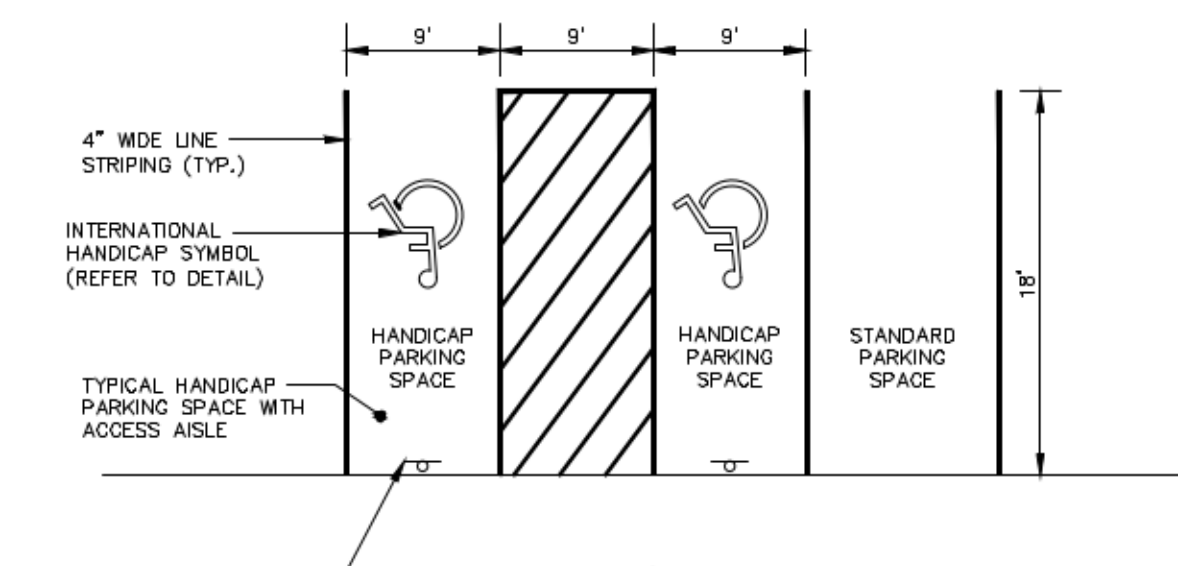
TYPICAL A.D.A. DETECTABLE WARNING TRUNCATED DOME DETAIL
NO SCALE



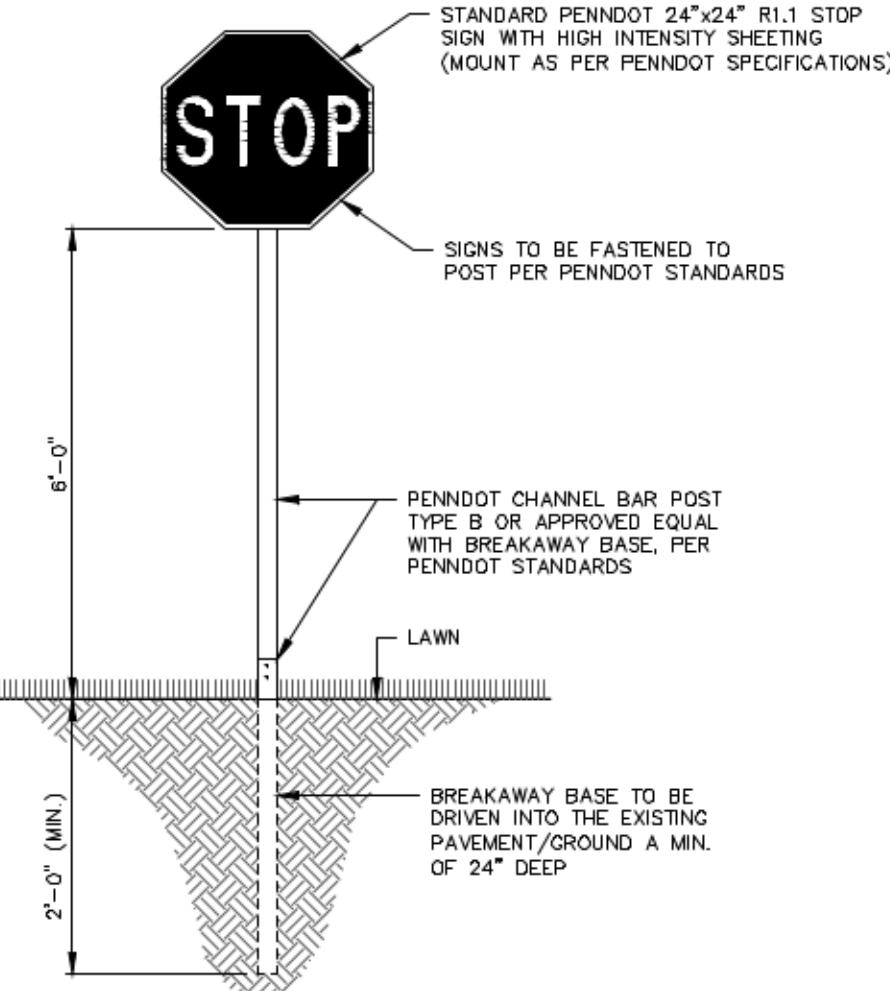
TYPICAL SLANT CONCRETE CURB
NO SCALE



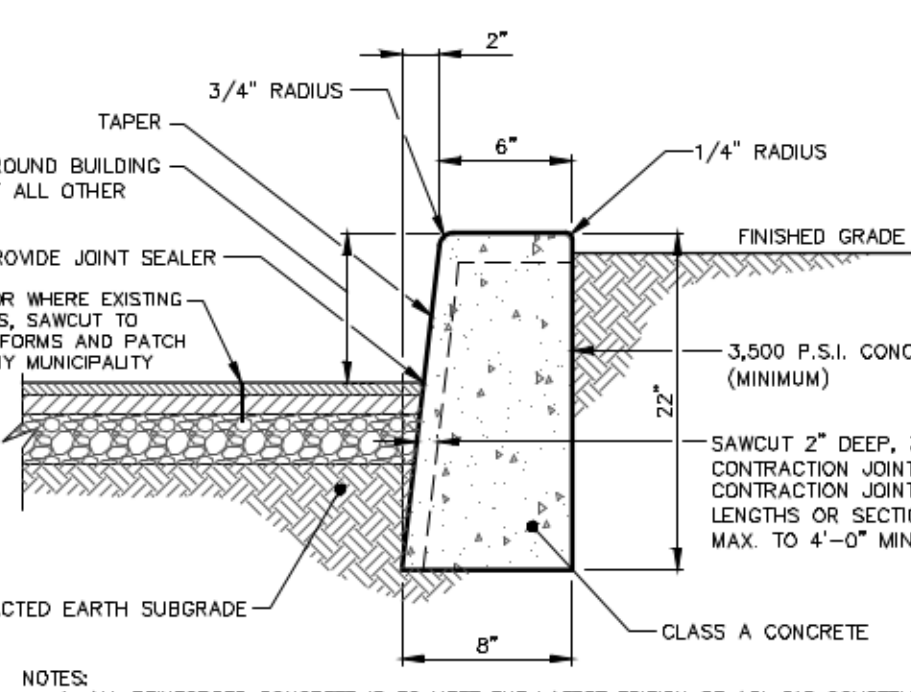
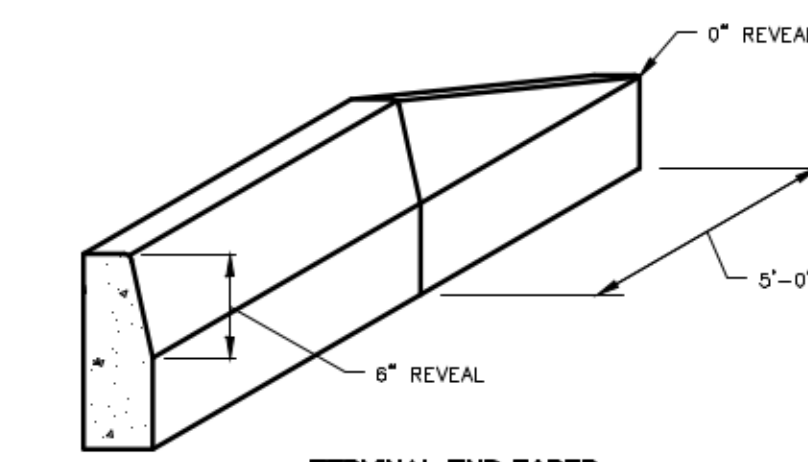
TYPICAL DEPRESSED CURB/SIDEWALK/HANDICAP RAMP DETAIL
NO SCALE



TYPICAL HANDICAP PARKING SPACE STRIPING
NO SCALE

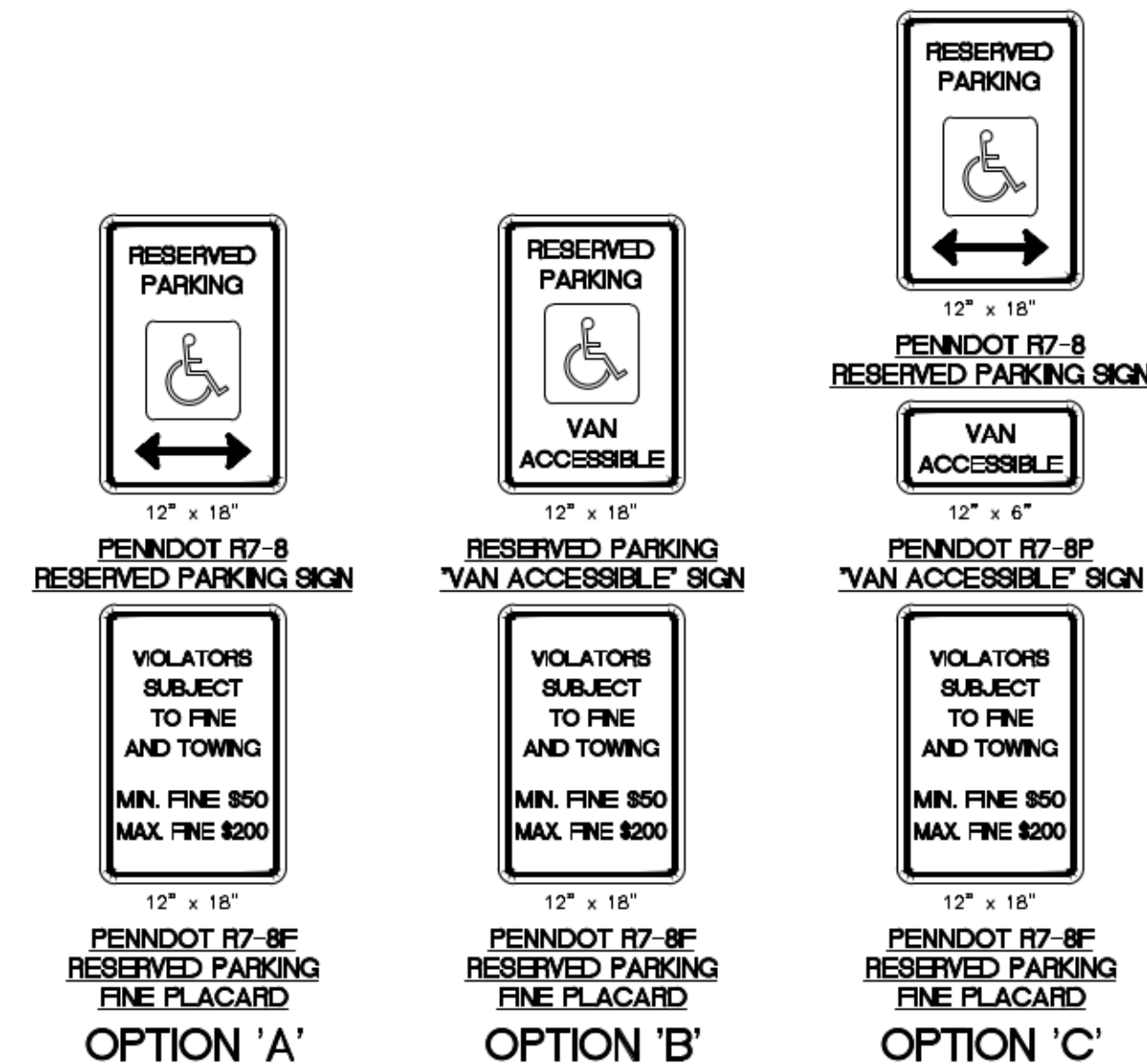


TYPICAL STOP SIGN WITH STEEL POST DETAIL
NO SCALE



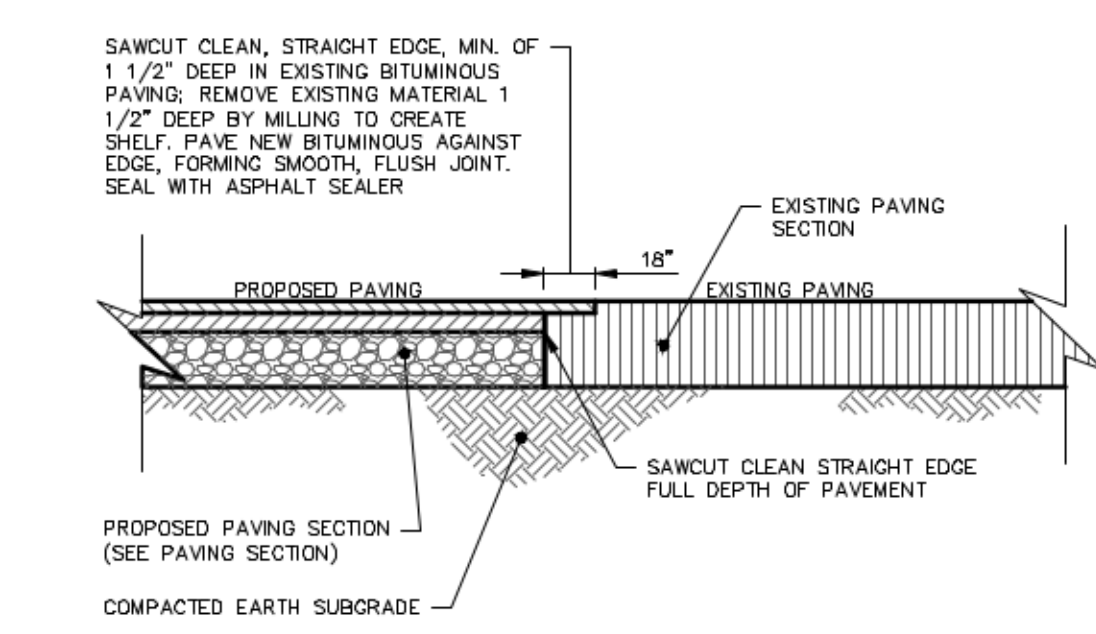
TYPICAL 22\"/>

- NOTES:
- A.D.A. ACCESSIBLE VEHICLE STANDING (PARKING) SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
 - LINE WIDTH SHALL BE 4" UNLESS INDICATED OTHERWISE. COLOR SHALL BE WHITE. SURFACES SHALL BE DRY, CLEAN AND FREE OF TRAFFIC. ALL LINES SHALL BE STRAIGHT, TRUE AND NEAT. PAINT SHALL BE APPLIED IN TWO COATS HAVING A FINAL DRY THICKNESS OF 12 MILS. MINIMUM.
 - LINE PAINTING, AS INDICATED ON DRAWINGS, SHALL BE HIGHWAY APPROVED TYPE, IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.
 - STANDARD HANDICAP SYMBOL SHALL BE PAINTED WHITE ON BLUE PAINTED CIRCLE AS REQUIRED BY UNIFORM ACCESSIBILITY STANDARDS AND DETAIL PROVIDED BY THE ENGINEER.
 - A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, LISTED IN APPENDIX A OF THE TITLE II REGULATIONS, SECTION 4.1.2(C)(9) STATES ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NO LESS THAN ONE SHALL BE SERVED BY AN ACCESS AISLE 96" MIN. WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS REQUIRED BY 4.6.4. IN THIS CASE A "VAN ACCESSIBLE" SIGN MUST BE PROVIDED IN ADDITION TO A "RESERVED PARKING" SIGN.
 - PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR REGARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION REQUIREMENTS.



- NOTES:
- HANDICAP SIGNAGE SHALL BE PROVIDED AND INSTALLED PER PENNDOT (TITLE 67, CH. 212, OFFICIAL TRAFFIC-CONTROL DEVICES) AND/OR MUNICIPAL REQUIREMENTS, AS APPLICABLE.
 - A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, LISTED IN APPENDIX A OF THE TITLE II REGULATIONS, SECTION 4.1.2(C)(9) STATES ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NO LESS THAN ONE SHALL BE SERVED BY AN ACCESS AISLE 96" MIN. WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS REQUIRED BY 4.6.4. IN THIS CASE A "VAN ACCESSIBLE" SIGN MUST BE PROVIDED IN ADDITION TO A "RESERVED PARKING" SIGN.
 - WHERE HANDICAP PARKING IS FACING A BUILDING WALL AND/OR CONCRETE WALK, SIGN MAY BE MOUNTED ON BLDG. WALL AT PROPER HEIGHT, UPON APPROVAL FROM OWNER.
 - PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR REGARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION REQUIREMENTS.
 - WHERE NON-"VAN ACCESSIBLE" HANDICAP PARKING SPACES ARE REQUIRED, USE SIGN OPTION "A". WHERE HANDICAP PARKING SPACES ARE RESERVED FOR "VAN ACCESSIBLE" USE, OPTION "B" OR "C". IN PROJECTS UNDER PENNDOT JURISDICTION, USE OPTION "C" FOR SIGNING "VAN ACCESSIBLE" HANDICAP PARKING SPACES.

TYPICAL HANDICAP PARKING SIGNAGE OPTIONS
NO SCALE



PROPOSED BITUMINOUS PAVING SAWCUT AND MILLING AT JOINT WITH EXISTING PAVING
NO SCALE

PROGRESS DRAWING (FOR REVIEW ONLY)

NO.	DATE	REVISIONS	COMMENTS

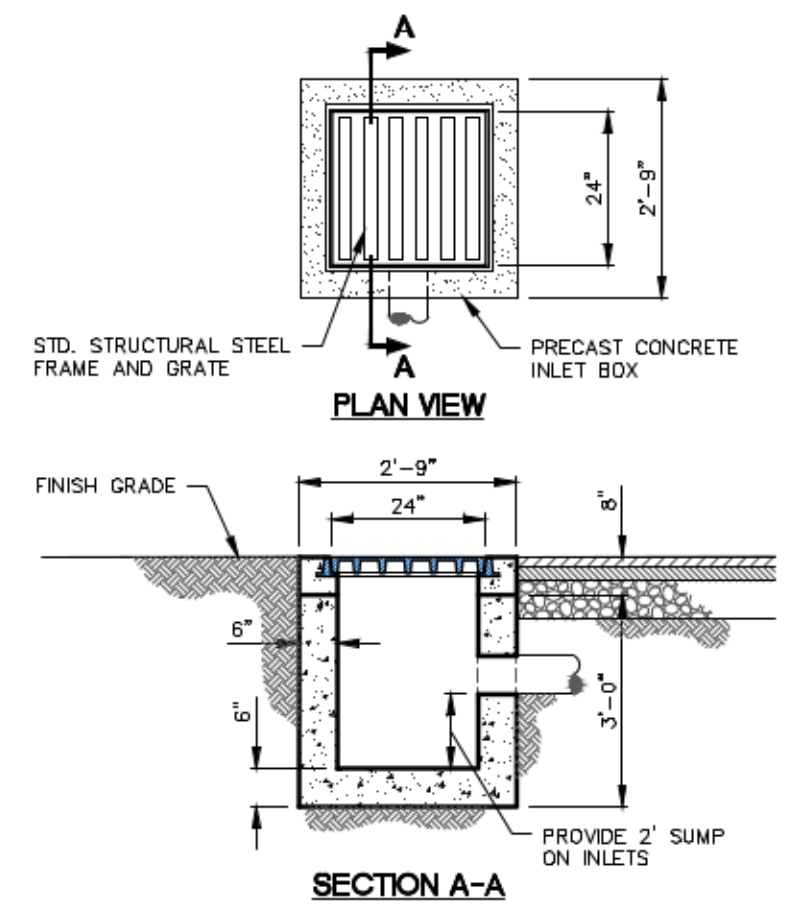
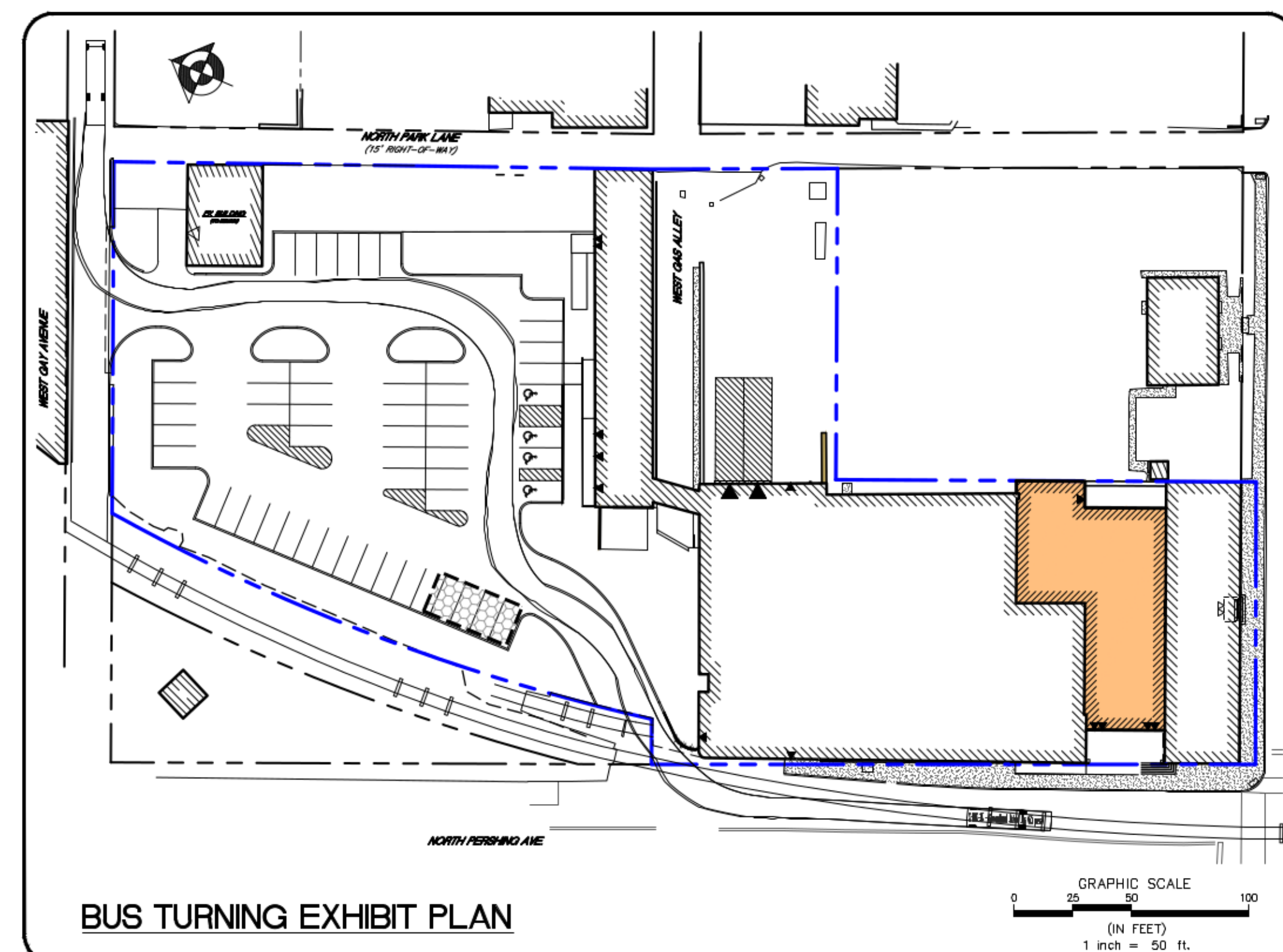
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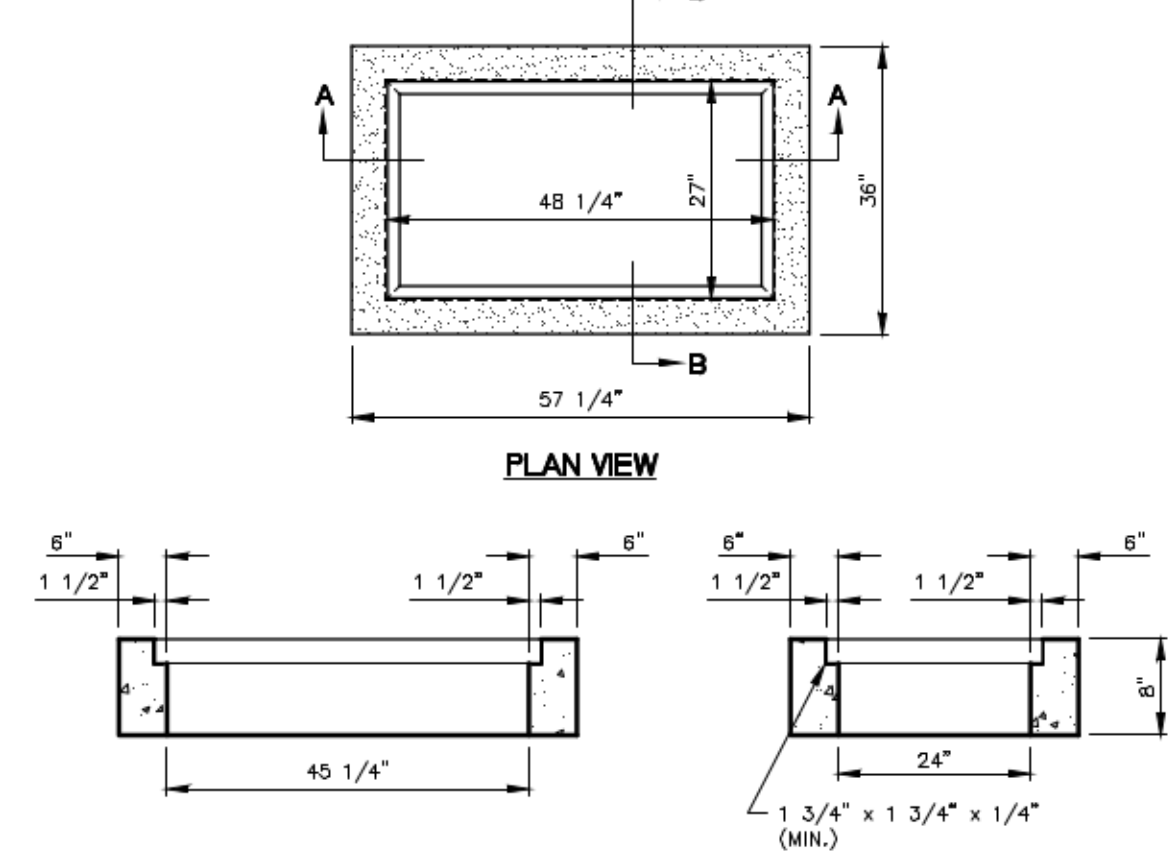
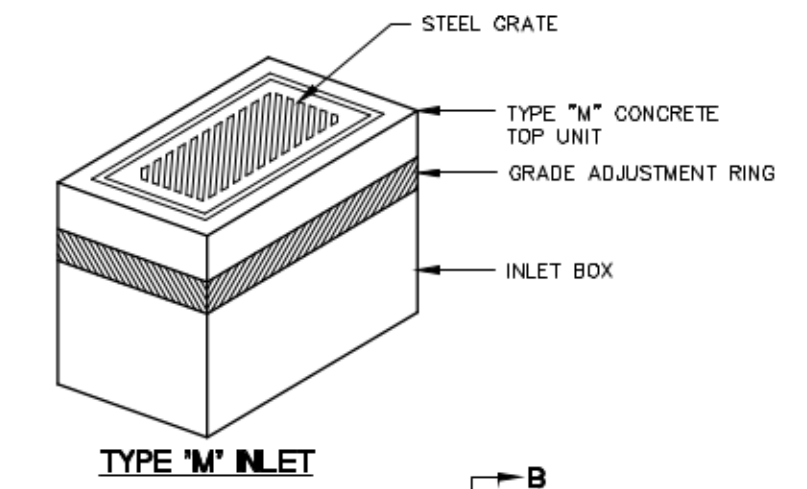
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CHECKED BY	TBE
CONTACT	TBE
DATE	10.04.21
FILE NAME	1097.1-LD-1
JOB NO.	1097.1
SHEET NO.	REV
	C-6

Overall Length	35.00 FT
Overall Body Height	8.00 FT
Min. Body Ground Clearance	1.00 FT
Track Width	8.00 FT
Lock-to-lock time	8.00 FT
Max Steering Angle (Virtual)	37.20°



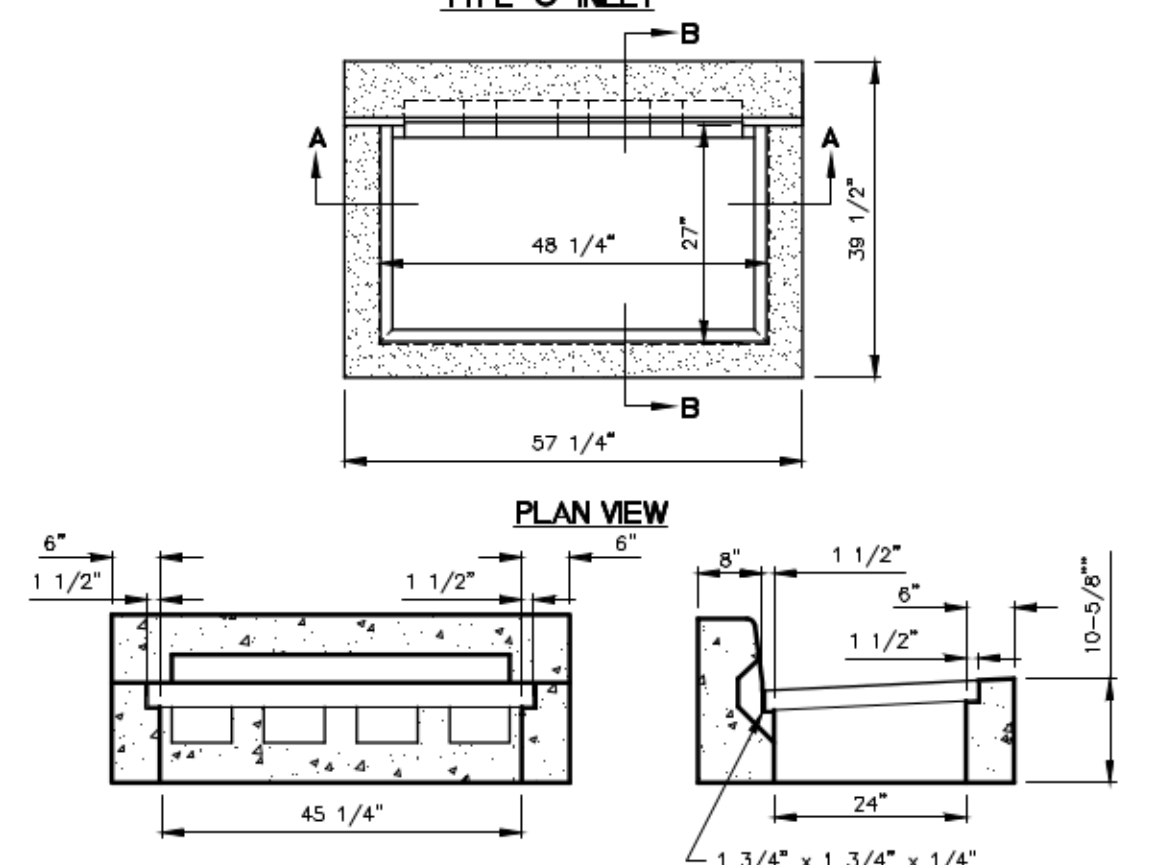
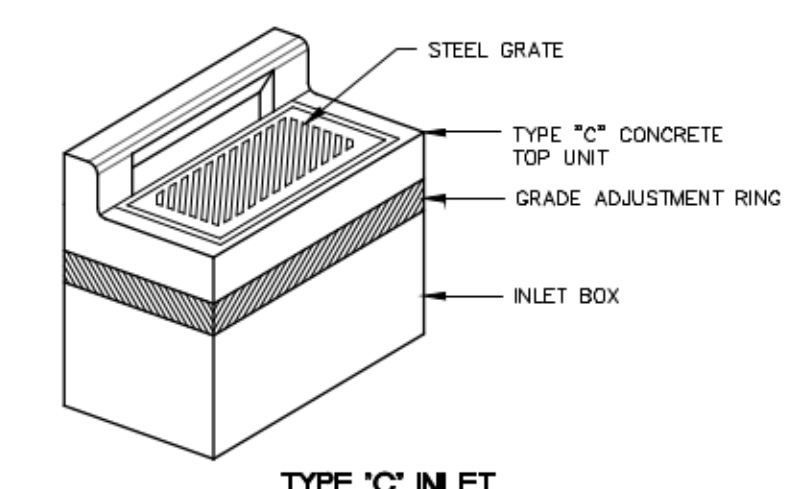
- NOTES:
- SEE SITE PLAN FOR INLET LOCATIONS, PIPE SIZES AND INVERT ELEVATIONS.
 - CAST HOLES IN INLET BOXES AS REQUIRED TO MEET PLAN PIPING DESIGN.
 - PLACE INLET BOXES ON THOROUGHLY COMPACTED EARTH SUBGRADE.
 - USE PRECAST CATCH BASIN BY MONARCH PRODUCTS, INC. OR APPROVED EQUAL.

STANDARD PRECAST CONCRETE 2'x2' STORM INLET BOX WITH INLET TOP
NO SCALE



- NOTE:
- STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-34 STANDARDS FOR ROADWAY CONSTRUCTION.

PENNDOT 2'x4' TYPE 'M' STORM INLET
NO SCALE

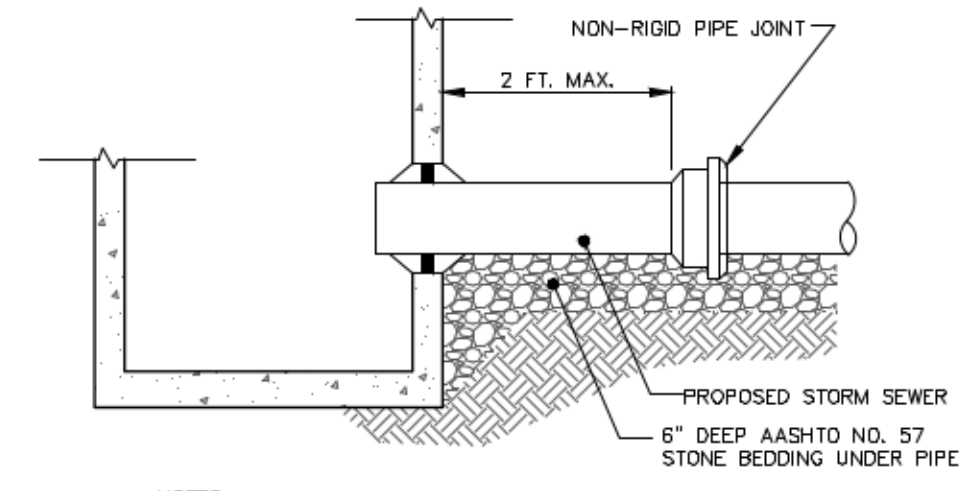


- NOTE:
- STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-34 STANDARDS FOR ROADWAY CONSTRUCTION.

PENNDOT 2'x4' TYPE 'C' STORM INLET
NO SCALE

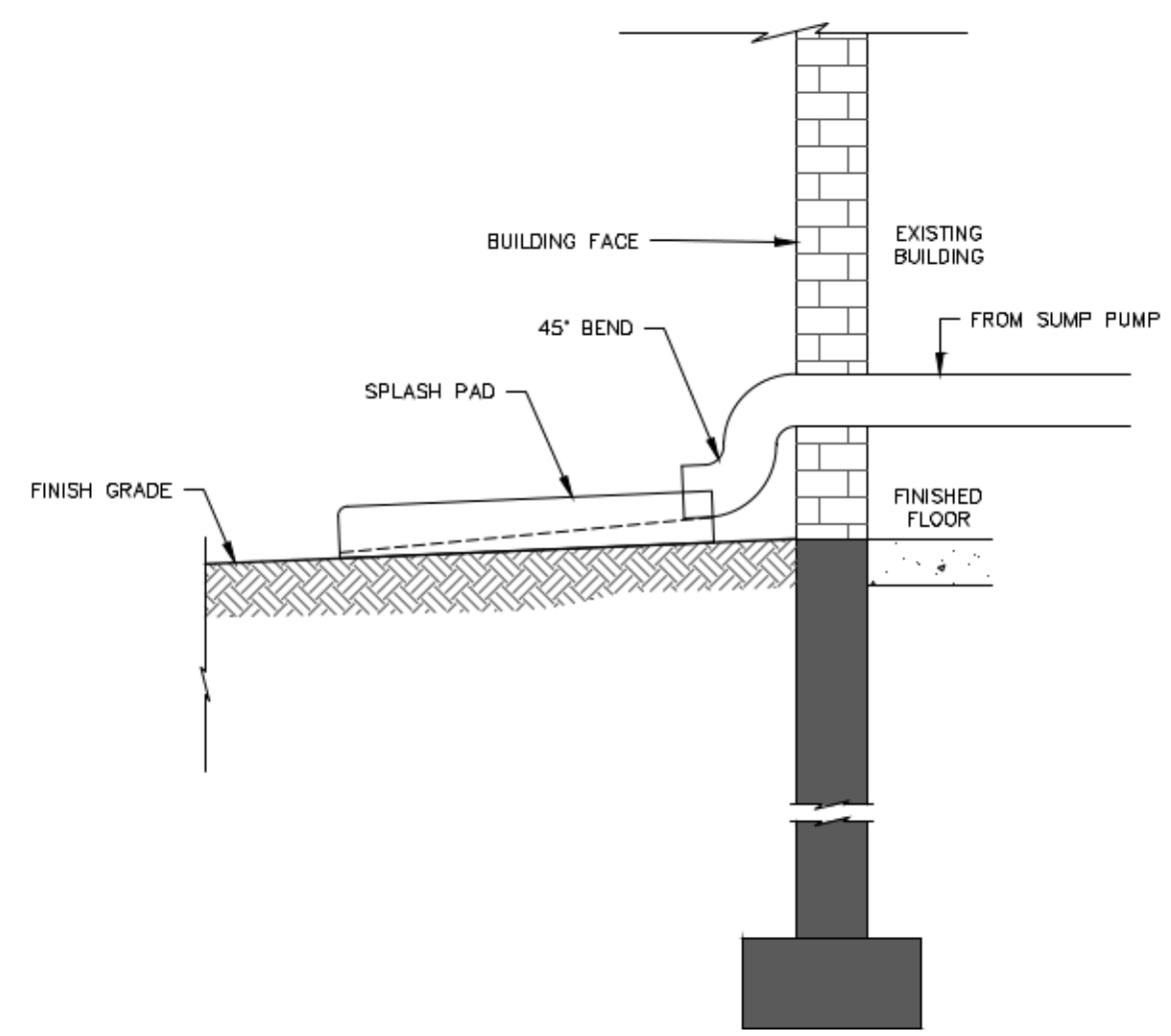
STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE NOTES

- THE OWNER OF THE PROPERTY ON WHICH THE STORMWATER MANAGEMENT FACILITIES (INFILTRATION BASINS AND SUBSURFACE INFILTRATION BEDS 1 THROUGH 4) ARE CONSTRUCTED SHALL MAINTAIN THE BMPs IN GOOD CONDITION AND PROMPTLY REPAIR AND RESTORE ALL GRADE SURFACES, DRAINS, INLET STRUCTURES, VEGETATION AND OTHER PROTECTIVE DEVICES. SUCH REPAIRS OR RESTORATIONS, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH APPROVED PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF THE BMPs UNTIL RELEASED FROM THIS PROJECT. THE LAND OWNERS/RESPONSIBLE PARTY (AS DEFINED BELOW) SHALL MAINTAIN THE BMPs THEREAFTER.
- UPON RELEASE OF THE CONTRACTOR FROM REPAIR AND MAINTENANCE OF THE BMPs, THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIRING ANY STRUCTURAL DAMAGES OR FAILURES TO THE BMPs WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE RESPONSIBLE TO MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE, BUT, IN ANY CASE, WITHIN A PERIOD NOT EXCEEDING 90 DAYS.
- MAINTAIN AREAS DRAINING TO THE BMPs TO PREVENT SOIL WASHOUT INTO THE FACILITIES. IMMEDIATELY STABILIZE BARE SPOTS OR ERODED AREAS. IMMEDIATELY REMOVE ALL TRASH OR OTHER LITTER.
- RESTRICT VEHICULAR OR OTHER EQUIPMENT TRAFFIC WITHIN THE INFILTRATION BASINS TO ONLY THAT IS NECESSARY FOR WORKING ON BMP REPAIRS.
- PROHIBIT STORAGE OF SOIL, MULCH OR HAZARDOUS MATERIALS ON THE BMPs OR WITHIN AREAS THAT DRAIN TO THE BMPs.
- THE OWNER SHALL NOT CONSTRUCT, PLANT, OR MAINTAIN ANY STRUCTURES, FENCES, TREES, SHRUBBERY, ETC. WITHIN THE SANITARY SEWER, STORM WATER OR UTILITY RIGHTS-OF-WAY/EASEMENTS TO ENSURE A FREE AND CLEAR ACCESS TO ALL FACILITIES. BITUMINOUS PAVING, COMMINGLING OF SANITARY SEWER, STORM WATER, OR UTILITIES, OR CHANGE IN GROUND CONTOURS WITHIN THE RIGHTS-OF-WAY/EASEMENTS MAY BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE MUNICIPALITY.
- ALL INSPECTION RECORDS SHALL BE MAINTAINED BY THE LAND OWNER FOR NOT LESS THAN FIVE (5) YEARS AND SHALL BE MADE AVAILABLE TO THE MUNICIPALITY WITHIN FIVE (5) CALENDAR DAYS, OF RECEIPT OF WRITTEN REQUEST BY THE MUNICIPALITY.
- RESPONSIBLE PARTY: YORK COUNTY HERITAGE TRUST, HEIRS OR ASSIGNS.



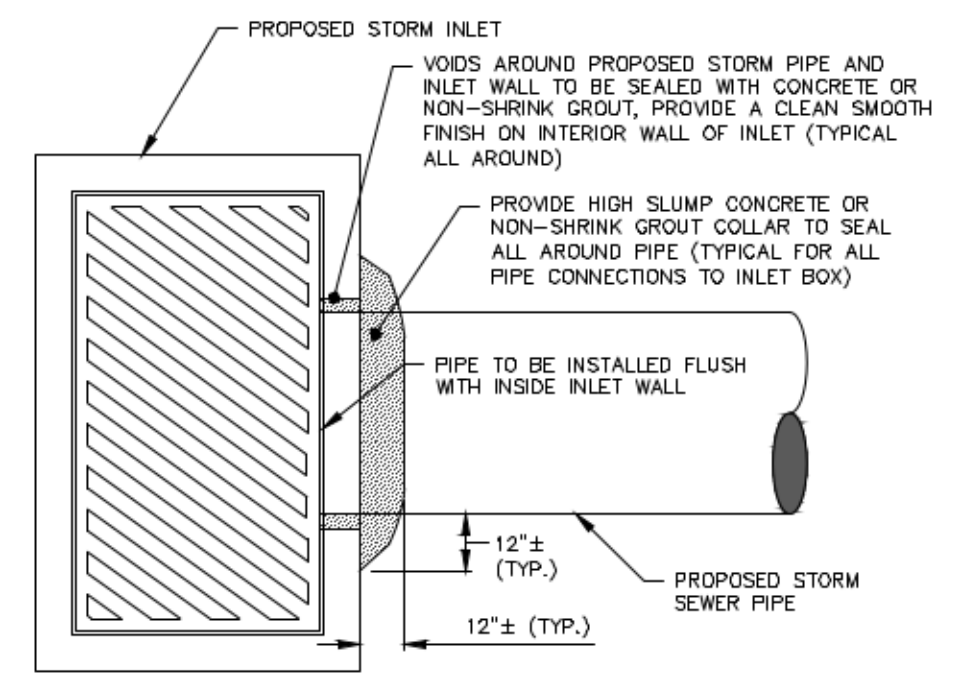
- NOTES:
- CUT HOLE IN EXISTING INLET WITH CORING MACHINE.
 - INSTALL RESILIENT GASKET TYPE SEAL PER ASTM C-923.
 - CAULK ANNUAL SPACE WITH PREFORMED PLASTIC SEALING COMPOUND.

CONNECTION OF PROPOSED STORM SEWER TO EXISTING INLET DETAIL
NO SCALE

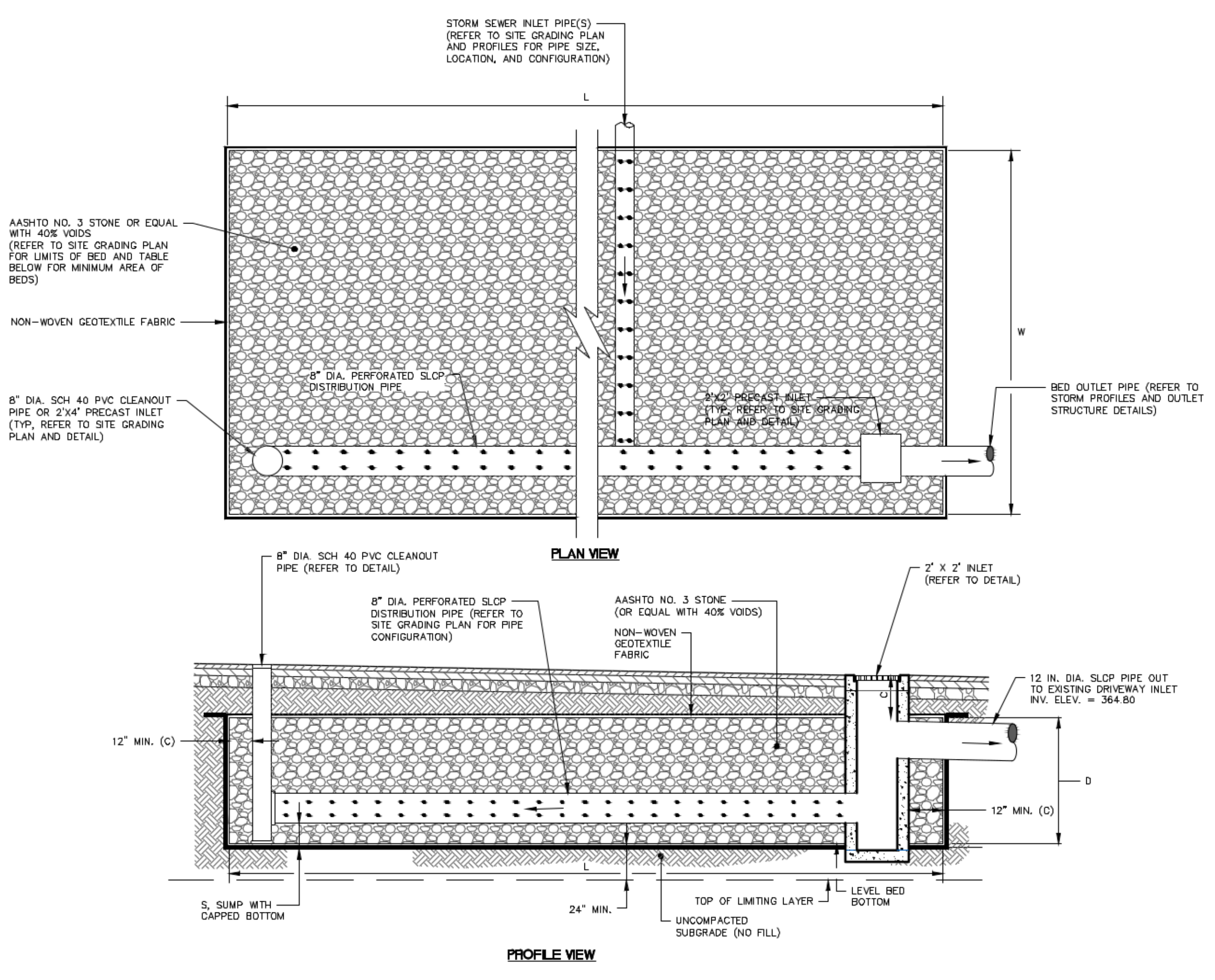


- NOTES:
- MAINTAIN GRAVEL/PAVED AREAS AND SPLASH PADS IN STABLE CONDITIONS. REPAIR ANY EROSION OR WASHOUTS IMMEDIATELY.
 - CONTRACTOR SHALL DETERMINE THE FINAL LOCATIONS BASED UPON THE ARCHITECTURAL PLANS AND VERIFY THE FINAL PIPE SIZES AND CONNECTION POINTS WITH THE SITE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

TYPICAL SPLASH PAD DETAIL
NO SCALE



TYPICAL GROUTING/ENCASEMENT AT STORM INLET/BOX PIPE CONNECTION
NO SCALE

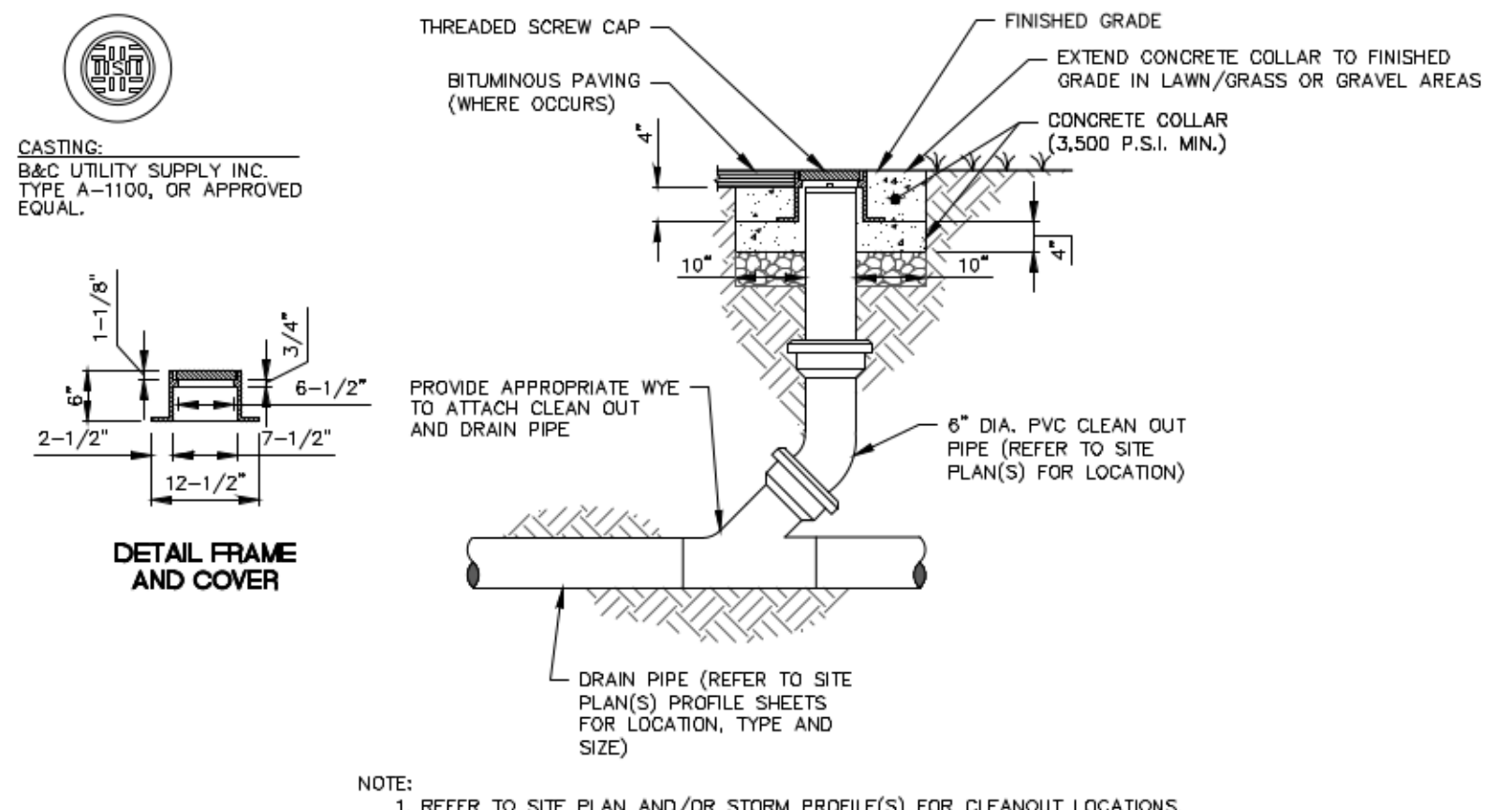


FACILITY NO.	C (IN.)	D (IN.)	L (FT.)	S (IN.)	W (FT.)	MINIMUM AREA OF BED (S.F.)	STONE TOP ELEV.	STONE BOTTOM ELEV.	PERF. PIPE ELEV.	SUMP ELEV.
SIB 1	12 MIN.	24	38	6	18	684	365.80	363.80	364.30	362.30

** REFER TO SITE PLAN FOR LOCATION(S), SIZE(S) AND LENGTH(S) OF PIPE(S) AND CONFIGURATION(S) OF SYSTEM(S).

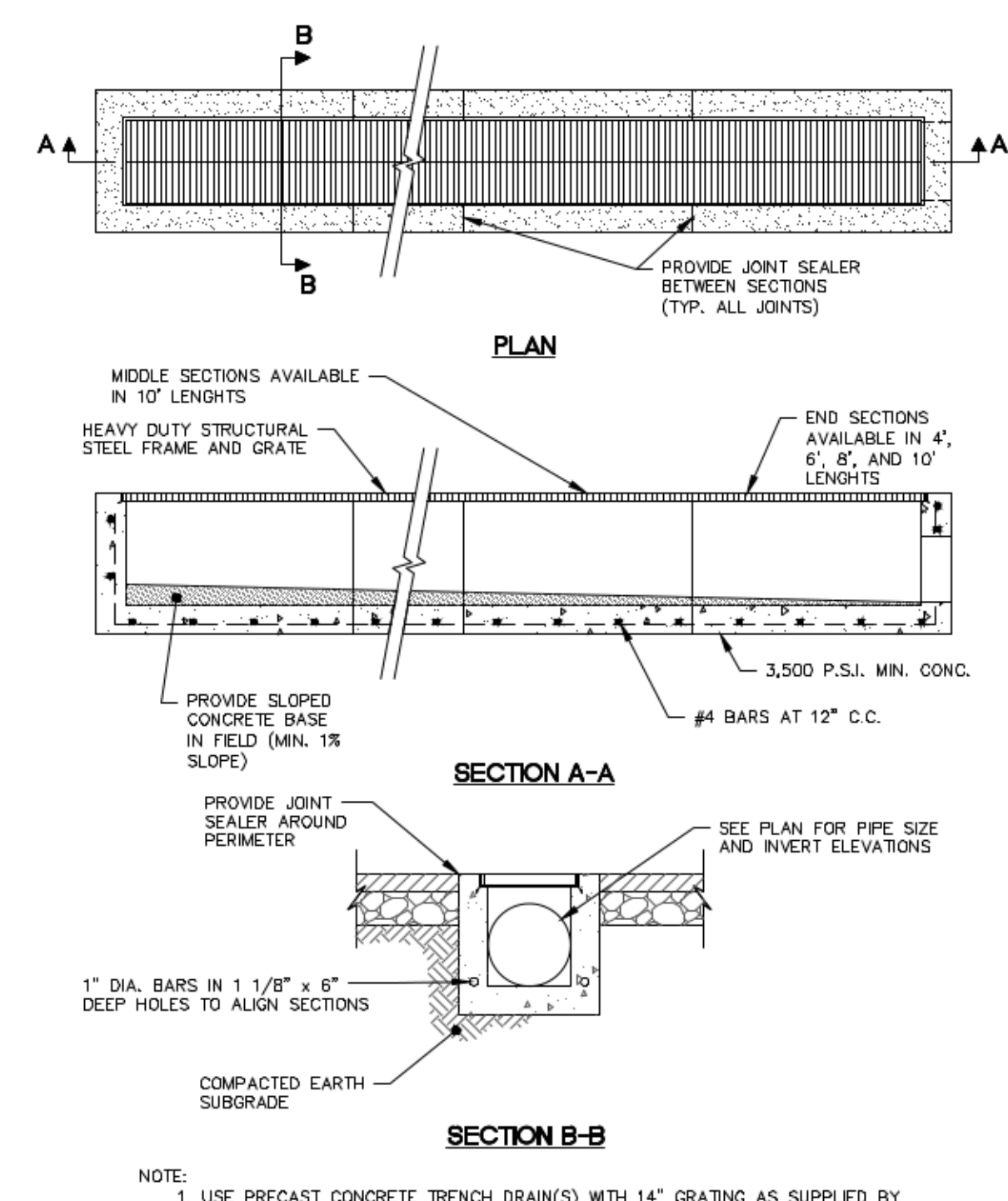
- NOTES:
- ALL CLEANOUTS SHALL CONTAIN THREADED CAPS. REFER TO SITE PLAN FOR LOCATION OF INLETS, CLEANOUTS, LOCATED WITHIN ALL SUBSURFACE STONE INFILTRATION BEDS. REFER TO ENLARGED GRADING PLAN AND PROFILES FOR TOP ELEVATIONS OF INLETS AND CLEANOUTS LOCATED WITHIN THE SUBSURFACE STONE INFILTRATION BEDS.
 - DISTRIBUTION PIPES FOR SUBSURFACE INFILTRATION BED SHALL BE CONTINUOUSLY PERFORATED SMOOTH INTERIOR, WITH A MINIMUM INSIDE DIAMETER OF 8 INCHES. SLOPE PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
 - CAPPED CLEANOUTS MUST BE PROVIDED AT 100 FOOT INTERVALS FROM ROOF DOWNSPOUTS TO SUBSURFACE INFILTRATION BED AND MAY BE PROVIDED AT ENDS OF DISTRIBUTION PIPES.

SUBSURFACE STONE INFILTRATION BEDS (S.I.B.)
NO SCALE



- NOTE:
- REFER TO SITE PLAN AND/OR STORM PROFILES FOR CLEANOUT LOCATIONS.

TYPICAL EXTERIOR STORM SEWER CLEANOUT
NO SCALE



- NOTE:
- USE PRECAST CONCRETE TRENCH DRAINS WITH 14" GRATING AS SUPPLIED BY MONARCH PRODUCTS, INC. (OR APPROVED EQUAL).

TYPICAL PRECAST CONCRETE TRENCH DRAIN
NO SCALE

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SHEET NO.	C-7

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