# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN BUILDING RENOVATION/EXPANSION

## YORK COUNTY HISTORY CENTER

121 NORTH PERSHING AVE. CITY OF YORK, YORK COUNTY, PENNSYLVANIA

> PREPARED FOR: YORK COUNTY HERITAGE TRUST 250 EAST MARKET STREET YORK, PA 17403

UNIFORM PARCEL IDENTIFIER						
LOT NO.	STREET ADDRESS	U.P.L				
COMBINED LOT						



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400 INTERNATIONAL PARKWAY RICHARDSON, TX 75081 CONTACT: DEAN BOYERS EMAIL: INVESTIGATIONS@VERIZON.COM YORK WATER COMPANY YORK, PA 17401 CONTACT: TYLER CLEMENS EMAIL: TYLERCOYORKWATER.COM

ACCOUNTS PAYABLE YORK, PA 17402 CONTACT: CAROL GODFREY EMAIL: CGODFREY@YORKCITY.ORG 37 W. 8TH STREET WYOMING, PA 18644 CONTACT: RONALD SILINSKIE EMAIL: RONALD.SILINSKIE®VERIZON.COM COLUMBIA GAS OF PA INC 1600 DUBLIN ROAD COLUMBUS, OH 43215 CONTACT: LISA COLLINS EMAIL: LDUGANGNISOURCE.COM

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#### CITY OF YORK ZONING OFFICER APPROVAL

PENNSYLVANIA, THIS \_\_\_\_\_\_ DAY OF \_\_\_\_\_,

APPROVED BY THE CITY OF YORK ZONING OFFICER, YORK COUNTY, PENNSYLVANIA, THIS ZONING OFFICER CITY OF YORK PLANNING COMMISSION REVIEW REVIEWED BY THE PLANNING COMMISSION OF THE CITY OF YORK, YORK COUNTY,

#### CITY OF YORK COUNCIL APPROVAL

APPROVED BY THE CITY OF YORK COUNCIL, YORK COUNTY, PENNSYLVANIA, THIS \_\_\_\_\_\_

#### YORK COUNTY PLANNING COMMISSION

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON \_\_\_\_, 20\_\_\_\_, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YOPC FILE NO. . THE CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

DIRECTOR, YORK COUNTY PLANNING COMMISSION

#### RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN LAND RECORD BOOK \_\_\_\_\_\_, PAGE \_\_\_\_\_

ON THIS \_\_\_\_\_\_, DAY OF \_\_\_\_\_\_, 20\_\_\_\_\_

#### WAIVER/MODIFICATION REQUEST

AT A MEETING HELD ON \_\_\_\_\_\_, 20\_\_\_, THE CITY OF YORK COUNCIL APPROVED THE FOLLOWING WAIVERS/MODIFICATIONS FROM THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCÉ:

A.) SECTION 1333.03: WHICH REQUIRES SUBMISSION OF A PRELIMINARY PLAN.

WAIVER/MODIFICATION IS REQUESTED TO SUBMIT COMBINED PRELIMINARY/FINAL PLANS. B.) SECTIONS 1336.09 AND 1336.11: WHICH REQUIRE STREET TREES AND STREET LIGHTING. WAIVERS/MODIFICATIONS ARE REQUESTED AS THERE ARE NO OTHER TREES OR LIGHTING IN THE VICINITY.



**LOCATION MAP** COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER BJE080722)

FINAL LAND DEVELOPMENT					
PLAN SHEET INDEX					
ORAWING					
SHEET NO.	DRAWING TITLE				
C-1	TITLE SHEET				
C-2	PROJECT NOTES AND PLAN LEGEND				
C-3	EXISTING SITE CONDITIONS AND				
	DEMOLITION PLAN				
C-4	SITE LAYOUT PLAN				
C-5	SITE GRADING AND UTILITY PLAN				
C-6	SITE DETAILS				
C-7	POST CONSTRUCTION STORMWATER				
	MANAGEMENT DETAILS AND PROFILES				

#### SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

> GRANT ALLEN ANDERSON, P.L.S. REGISTRATION NO. SU 075471-E (AGENT FOR SITE DESIGN CONCEPTS, INC.)

**ENGINEER** I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LAND DEVELOPMENT PLANS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF YORK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

> REGISTRATION NO. PE 060631-E (AGENT FOR SITE DESIGN CONCEPTS, INC.)

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION (OWNER - TAX MAP 45, PARCELS 6, 6A, AND 13) FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF YORK ON THIS, THE \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_ , 20\_\_\_\_ , BEFORE ME, \_\_\_\_\_\_. THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY

OF YORK COUNTY HERITAGE TRUST TO ME KNOWN OR PROVEN, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE NON-PROFIT IS THE <u>OWNER</u> OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE THE NON-PROFIT'S ACT AND PLAN, THAT THE NON-PROFIT DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

YORK COUNTY HERITAGE TRUST 250 EAST MARKET ST.

NOTARY PUBLIC

NOTARY STAMP SEAL

2021, SITE DESIGN CONCEPTS, INC. - ALL RIGHTS RESERVED. THESE PLANS ARE THE PROPERTY OF SITE DESIGN CONCEPTS, INC. ANY USE OR REPRODUCTION OF THESE PLANS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SITE DESIGN CONCEPTS, INC. IS FORBIDDEN

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PROGRESS DRAWING

(FOR REVIEW ONLY)

#### PLAN LEGEND — — — — UC — — — EXISTING UNDERGROUND CABLE LINE — — — 650 — — — EXISTING CONTOUR LINE PROPOSED UNDERGROUND CABLE LINE — — — W — — — EXISTING WATER LINE — — — UT/C— — — EXISTING UNDERGROUND TELEPHONE AND CABLE LINES PROPOSED WATER LINE — — — G — — — EXISTING GAS LINE — ◆ — ◆ DELINEATED WETLAND BOUNDARY LINE PROPOSED GAS LINE — — ■ SS — — — EXISTING SANITARY SEWER GRAVITY LINE PROPOSED FENCE LINE PROPOSED SANITARY SEWER GRAVITY LINE EXISTING STREAM, DRAINAGEWAY OR WATER SURFACE BOUNDARY LINE — — FM — — — EXISTING SANITARY SEWER FORCE MAIN LINE PROPOSED DRAINAGEWAY OR WATER SURFACE BOUNDARY LINE PROPOSED SANITARY SEWER FORCE MAIN LINE EXISTING PROPERTY LINE PROPOSED PROPERTY LINE — — — OE — — — EXISTING OVERHEAD ELECTRIC LINE ---- - - - ADJOINER PROPERTY LINE PROPOSED OVERHEAD ELECTRIC LINE ---- EXISTING RIGHT-OF-WAY LINE PROPOSED RIGHT-OF-WAY LINE PROPOSED OVERHEAD ELECTRIC AND TELEPHONE LINES —— — — — FASEMENT LINE PROPOSED OVERHEAD ELECTRIC AND CABLE LINES ----- EXISTING CENTERLINE — — — OT — — — EXISTING OVERHEAD TELEPHONE LINE PROPOSED OVERHEAD TELEPHONE LINE — — — BUILDING SETBACK LIN ---- OT/C --- -- EXISTING OVERHEAD TELEPHONE AND CABLE LINES EXISTING STORM SEWER DRAINAGE LINE ------ OT/C ------ PROPOSED OVERHEAD TELEPHONE AND CABLE LINES PROPOSED STORM SEWER DRAINAGE LINE PROPOSED OVERHEAD ELECTRIC, TELEPHONE, AND CABLE LINES PROPOSED TREE/BRUSH LINE — — — UE — — — EXISTING UNDERGROUND ELECTRIC LINE PROPOSED UNDERGROUND ELECTRIC LINE FLOODPLAIN BOUNDARY LINE — — — UT — — — EXISTING UNDERGROUND TELEPHONE LINE ZONING DISTRICT BOUNDARY LINE PROPOSED UNDERGROUND TELEPHONE LINE ----- UT -----■ # # # # # SOIL BOUNDARY LINE EXISTING SIGN PROPOSED SIGN EXISTING DECIDUOUS TREE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING CONIFER EXISTING PROPERTY CORNER (AS STATED) EXISTING SHRUB PROPOSED PROPERTY CORNER (AS STATED) PROPERTY CORNER STORM DRAINAGE INLET TYPE "C" PROPERTY CORNER - CONCRETE MONUMENT STORM DRAINAGE INLET TYPE "M" EXISTING UTILITY POLE STORM SEWER STRUCTURE DESIGNATION PROPOSED UTILITY POLE GUY ANCHOR SANITARY SEWER STRUCTURE DESIGNATION EXISTING CLEANOUT CONCRETE AREA PROPOSED SANITARY SEWER CLEANOUT PROPOSED STORM SEWER CLEANOUT ROCK RIP-RAP AREA EXISTING WATER VALVE ( ... · PROPOSED WATER VALVE WETLAND AREA EXISTING HOSE BIB BOTTOM OF CURB BITUMINOUS PROPOSED HOUSE BIB BORO. BOROUGH EXISTING GAS VALVE BASEMENT PROPOSED GAS VALVE BEGINNING OF VERTICAL CURB EXISTING BOLLARD CALIPER CENTER TO CENTER PROPOSED BOLLARD CAST IRON (PIPE) EXISTING DOWNSPOUT CORRUGATED METAL (PIPE) COUNTY PROPOSED DOWNSPOUT CONCRETE CONC. COORDS. COORDINATES EXISTING SPOT LIGHT CORRUGATED POLYETHYLENE (PIPE) PROPOSED SPOT LIGHT DEED BOOK EXISTING LIGHT POLE D.B.H. DIAMETER BREAST HEIGHT DIAMETER PROPOSED LIGHT POLE DUCTILE IRON (PIPE) EXISTING LIGHT STANDARD DOUBLE YELLOW LINE ELEV. ELEVATION PROPOSED LIGHT STANDARD E.O.P. EDGE OF PAVEMENT EQUIVALENT SINGLE-AXLE LOAD ESAL EXISTING WALL PACK LIGHT ESMT. EASEMENT PROPOSED WALL PACK LIGHT END VERTICAL CURVE EXISTING MAN DOOR LOCATION *EXISTING* PROPOSED MAN DOOR LOCATION FINISHED BASEMENT (ELEVATION) FINISHED FLOOR (ELEVATION) EXISTING DOCK/OVERHEAD LOCATION FOUND FEET OR FOOT PROPOSED DOCK/OVERHEAD DOOR LOCATION HOT MIX ASPHALT HANDICAP CURB RAMP CENTERLINE HIGH POINT EXISTING WELL INVERT PROPOSED WELL IRON PIN IRON PIPE EXISTING WATER METER PIT LATERAL LINEAR FEET PROPOSED WATER METER PIT LOW POINT EXISTING STORM DRAINAGE MANHOLE LEFT PROPOSED STORM DRAINAGE MANHOLE MAILBOX MANHOLE EXISTING SANITARY SEWER MANHOLE MONUMENT PROPOSED SANITARY SEWER MANHOLE N.A.G. NORTH AMERICAN GREEN NOW OR FORMERLY EXISTING MONITORING WELL NUMBER ON CENTER PROPOSED MONITORING WELL OFFSET PADEP PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION EXISTING GAS METER PENNDOT PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PROPOSED GAS METER P.B. PLAN BOOK EXISTING GAS LINE MARKER PAGE PROPOSED GAS LINE MARKER POINT EXISTING ELECTRIC METER P.O.B. POINT OF BEGINNING PROPOSED ELECTRIC METER PROPOSED EXISTING CABLE PEDESTAL POINT OF VERTICAL INTERSECTION PROPOSED CABLE PEDESTAL REINFORCED CONCRETE (PIPE) EXISTING TELEPHONE PEDESTAL PROPOSED TELEPHONE PEDESTAL R.O.W. RIGHT-OF-WAY EXISTING TRANSFORMER RICHT PROPOSED TRANSFORMER SANITARY SMOOTH LINED CORRUGATED POLYETHYLENE (PIPE) SLCP EXISTING TELEPHONE MANHOLE SPCS STATE PLANE COORDINATE SYSTEM PROPOSED TELEPHONE MANHOLE STATION STORM EXISTING ELECTRIC MANHOLE SINGLE WHITE LINE PROPOSED ELECTRIC MANHOLE TOP OF BANK T.B.R. TO BE REMOVED EXISTING GAS LINE MANHOLE TOP OF CURB PROPOSED GAS LINE MANHOLE TOP OF GRATE TAX MAP EXISTING PARKING SPACE COUNT TOP OF PAVEMENT EXISTING PARKING SPACE COUNT (T.B.R.) TOP OF RIM TRAVERSE PROPOSED PARKING SPACE COUNT TOWNSHIP TYPICAL FLAG POLE UNIFORM PARCEL IDENTIFIER USACOE UNITED STATES ARMY CORPS OF ENGINEERS SURVEY/SITE BENCH MARK VITRIFIED CLAY PIPE BOTTOM OF BANK WATER SURFACE ELEVATION BALLED AND BURLAPPED YCCD YORK COUNTY CONSERVATION DISTRICT YORK COUNTY PLANNING COMMISSION WHERE ANY PART OF THE PROPOSED STORM DRAIN SYSTEM IS TO BE CONSTRUCTED WITHIN A FILL 7, ALL SANITARY SEWERS SHALL BE CONSTRUCTED FROM SDR-35 PVC UNLESS OTHERWISE NOTED ON SECTION, THE CONTRACTOR SHALL COMPACT ALL SELECT FILL MATERIAL TO 95% OF ASTM D-698 THE PLANS. IN AREAS WHERE COVER EXCEEDS 14 FEET, SDR-26 PVC SHALL BE USED FOR BOTH (AASHTO T-99) WITH A MOISTURE CONTENT ± 3% OF OPTIMUM UP TO THE PIPE BEDDING. MAINS AND LATERALS. CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. SITE DESIGN CONCEPTS, INC. MAKES NO GUARANTEE THAT THE EXISTING UTILITIES ARE EXACTLY AS SHOWN. B. UNLESS OTHERWISE INDICATED, ALL GRAVITY SANITARY SEWER MAINS SHALL BE CONSTRUCTED FROM SDR-35 PVC WITH FOUR (4) FEET MINIMUM COVER TO TOP OF PIPE IN UNPAVED AREAS AND FIVE UTILITIES SHOWN HEREON ARE SURVEYED AND SUPPLEMENTED WITH INFORMATION OBTAINED FROM (5) FEET MINIMUM COVER TO TOP OF PIPE IN PAVED AREAS. AVAILABLE RECORD DRAWINGS. CONCERNS AND DISCREPANCIES REGARDING LOCATION OF SUC SANITARY SEWER COSTS AND ENGINEERING EXPENSES SHALL BE TABULATED SEPARATELY BY FACILITIES SHALL BE BROUGHT TO THE ATTENTION OF SITE DESIGN CONCEPTS, INC. IMMEDIATELY. MANHOLE SECTION TO ACCOMMODATE CALCULATIONS UNDER PA ACT NO. 57, IF THE DEVELOPER

DESIRES REIMBURSEMENT AT A LATER DATE.

STANDARD DETAILS, UNLESS OTHERWISE NOTED.

GRADES AND/OR PROVIDE THE REQUIRED MINIMUM COVER.

EXISTING UTILITY SERVICES AND MAINS.

ALL UTILITY ELEVATIONS ARE AT THE INVERT UNLESS OTHERWISE NOTED.

ALL WATER MAIN, VALVE, AND HYDRANT LOCATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL DESIGN REQUIREMENTS AND CONSTRUCTION SPECIFICATIONS OF THE PUBLIC WATER SUPPLIER. ALL

CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PUBLIC WATER SUPPLIER'S CONSTRUCTION

TYPES OF STRUCTURES REFER TO THE LATEST PENNSYLVANIA DEPARTMENT OF TRANSPORTATION

14. EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE

CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT

RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR T

15. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES AS NECESSARY TO MATCH PROPOSED

ALL UTILITY STRUCTURES (I.E. SEWER MANHOLES, INLETS, VALVE BOXES, ETC.) LOCATED WITHIN THE PROPOSED STREETS OR PAVED AREAS SHALL BE ADJUSTED TO MEET PROPOSED FINISHED GRADES.

NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITY

SERVICES WITHOUT PRIOR APPROVAL FROM THE UTILITY PROVIDER. ALL AFFECTED USERS OF THE

AND A MINIMUM TWO (2) FEET OF CLEARANCE BETWEEN UTILITIES AND UTILITY POLES UNLESS OTHERWISE NOTED HEREON. CONTRACTOR SHALL CONTACT SITE DESIGN CONCEPTS, INC. IF THESE

REARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED, UPON

5. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY

6. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE LOCATION AND DEPTH OF ALL UTILITY

LOCATIONS AND SHALL PROVIDE THIS INFORMATION TO SITE DESIGN CONCEPTS, INC. FOR OWNER'S

APPROVAL BY MUNICIPALITY AND SITE DESIGN CONCEPTS, INC.

RECORDS AND/OR PREPARATION OF RECORD DRAWINGS.

OR THE SEWER AUTHORITY.

UTILITY SCHEDULED TO BE INTERRUPTED SHALL BE NOTIFIED IN A TIMELY MANNER, AS REQUIRED.

4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE (1) FOOT OF CLEARANCE BETWEEN ALL UTILITIES

MINIMUM CLEARANCES CANNOT BE ACHIEVED. A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) 12. INCHES SHALL BE MAINTAINED BETWEEN ALL WATER AND SANITARY SEWER CROSSINGS. IF THIS

SERVICES AND MAINS. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY

## STORMWATER MANAGEMENT FACILITIES CONSTRUCTION NOTES (AS APPLICABLE)

1. SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORK SHALL BE CLEARED,
GRUBBED AND STRIPPED OF TOPSOIL. WHERE POSSIBLE, ALL TREES, VEGETATION, ROOTS AND OTHER
OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED TO
NO STEEPER THAN 1:1. UNLESS RESTRICTED FROM SUCH, ALL TREES SHALL BE CLEARED AND GRUBBED
WITHIN 15 FEET OF THE TOE OF THE EMBANKMENT. AREAS TO BE COVERED BY THE STORMWATER FACILITIES
SHALL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL
UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH, AND STUMPS SHALL BE CUT APPROXIMATELY
LEVEL WITH THE GROUND SURFACE. FOR DRY STORMWATER MANAGEMENT PONDS, A MINIMUM OF A 25-FOOT
RADIUS AROUND THE OUTLET STRUCTURE SHALL BE CLEARED. ALL CLEARED AND GRUBBED MATERIAL SHALL
BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND THE STORMWATER FACILITIES AS DIRECTED
BY THE OWNER OR HIS REPRESENTATIVE. WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE
STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

2. EARTH FILL

A. MATERIAL
THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE
OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE
MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT, AND CUTOFF TRENCH SHALL
CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL AND MUST HAVE AT LEAST 30% PASSING
THE 200 SIEVE. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT
IF DESIGNED BY A GEOTECHNICAL ENGINEER. SUCH SPECIAL DESIGNS MUST HAVE CONSTRUCTION
SUPERVISED BY A GEOTECHNICAL ENGINEER, MATERIALS USED IN THE OUTER SHELL OF THE
EMBANKMENT MUST HAVE THE CAPABILITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO
PREVENT EROSION OF THE EMBANKMENT.

B. PLACEMENT
AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL
MATERIALS SHALL BE PLACED IN MAXIMUM 8 INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO
BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMEABLE BORROW MATERIAL
SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY
MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT OR VIBRATORY ROLLER, FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL IT WILL NOT CRUMBLE YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT. WHEN REQUIRED BY THE REVIEWING AGENCY THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN +/-2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99 (STANDARD DECORPS).

3. CUTOFF TRENCH THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE GOVERNED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST TWO FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT. ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.

4. EMBANKMENT CORE THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10 YEAR WATER SURFACE ELEVATION OR AS SHOWN ON THE PLANS. THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY. IN ADDITION, THE CORE SHALL BE PLACED CONCURRENTLY WITH THE OUTER SHELL OF EMBANKMENT.

5. STRUCTURE BACKFILL WITH FLOWABLE FILL BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE LOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE, UNLESS HERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. THE MIXTURE SHALL HAVE A 100-200 PSI, 28 DAY UNCONFINED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PHOF 4.0 AND A MINIMUM RESISTIVITY OF 2,000 DHM-CM. MATERIAL SHALL BE PLACED SUCH THAT A MINIMUM OF 6" (MEASURED PERPENDICULAR TO THE OUTSIDE OF THE PIPE) OF FLOWABLE FILL SHALL BE UNDER BEDDING), OVER, AND ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 7" TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. BACKFILL MATERIAL OUTSIDE THI STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE CORE OF THE EMBANKMENT OR OTHER EMBANKMENT MATERIALS.

6. PIPE CONDUITS
ALL PIPES SHALL BE CIRCULAR IN CROSS—SECTION UNLESS OTHERWISE SPECIFIED.

7. REINFORCED CONCRETE PIPE

A. MATERIALS — REINFORCED CONCRETE PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH RUBBER GASKETS AND SHALL EQUAL OR EXCEED ASTM C-361.

B. BEDDING — REINFORCED CONCRETE PIPE CONDUITS SHALL BE LAID IN A CONCRETE BEDDING/CRADLE FOR THEIR ENTIRE LENGTH. THIS BEDDING/CRADLE SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDES OF THE PIPE AT LEAST 50% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 6 INCHES. WHERE A CONCRETE CRADLE IS NOT SPECIFIED, FLOWABLE FILL MAY BE USED AS DESCRIBED IN THE "STRUCTURE BACKFILL" SECTION OF THIS STANDARD. GRAVEL BEDDING IS NOT PERMITTED.

C. LAYING PIPE — BELL AND SPIGOT PIPE SHALL BE PLACED WITH THE BELL END UPSTREAM. JOINTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL. AFTER THE JOINTS ARE SEALED FOR THE ENTIRE LINE, THE BEDDING SHALL BE PLACED SO THAT ALL SPACES UNDER THE PIPE ARE FILLED. CARE SHALL BE EXERCISED TO PREVENT ANY DEVIATION FROM THE ORIGINAL LINE AND GRADE OF THE PIPE.

D. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL", ABOVE.

8. PLASTIC PIPE

OF TRANSPORTATION PUBLICATION 408, SECTION 709.

A. MATERIALS — PVC PIPE SHALL BE A MINIMUM OF SDR—35 CONFORMING TO ASTM D—1785 OR ASTM D—2241.

CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE, COUPLINGS AND FITTINGS SHALL CONFORM TO THE
FOLLOWING: 4" THROUGH 10" PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M252 TYPE S, AND 12"

THROUGH 60" SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE S OR ASTM F2306.

B. JOINTS AND CONNECTIONS TO ANTI-SEEP COLLARS SHALL BE COMPLETELY WATERTIGHT.

C. BEDDING -THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH, WHERE BOCK OR SOFT SPONGY OR OTHER UNISTABLE SOIL IS ENCOUNTERED. ALL SUCH MATERIAL SHALL BE

ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.

D. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL", ABOVE.

9. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS, OR AS REQUIRED BY MUNICIPAL CONSTRUCTION STANDARDS AND SPECIFICATIONS.

10. CONCRETE STRUCTURES

 A. CONCRETE SHALL MEET THE REQUIREMENTS OF LATEST EDITION PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, SECTIONS 605, 606 AND 714; AND AS MODIFIED HEREON.

 B. REINFORCEMENT SHALL MEET THE MINIMUM REQUIREMENTS OF LATEST EDITION PENNSYLVANIA DEPARTMENT

11. ROCK RIP-RAP
ROCK RIP-RAP SHALL MEET THE REQUIREMENTS OF LATEST EDITION PENNSYLVANIA DEPARTMENT OF
TRANSPORTATION PUBLICATION 408,

#### GENERAL CONSTRUCTION NOTES

PRIOR TO COMMENCEMENT OF PROJECT, CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE OF PROPOSED IMPROVEMENTS WITH THE OWNER, PROJECT ENGINEER, MUNICIPALITY, AND ALL ADJOINING PROPERTY OWNERS THAT WILL BE AFFECTED BY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ADHERE TO THE SEQUENCE OF CONSTRUCTION OUTLINED IN THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN, UNLESS APPROVED OTHERWISE BY THE LOCAL CONSERVATION DISTRICT, THE MUNICIPALITY, AND SITE DESIGN CONCEPTS,

 ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO SITE DESIGN CONCEPTS, INC. PRIOR TO CONSTRUCTION.

3. EXTREME CARE SHOULD BE TAKEN DURING SITE DEMOLITION AND CONSTRUCTION ACTIVITIES SO AS NOT TO DISTURB EXISTING PROPERTY CORNER MONUMENTATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS

ASSOCIATED WITH REPLACEMENT OF ANY PROPERTY CORNERS DAMAGED DURING SITEWORK OPERATIONS.

4. UNLESS NOTED OTHERWISE HEREIN, MISCELLANEOUS SIGNS, MAILBOXES, FENCES, ETC., LOCATED WITHIN

CONSTRUCTION AREAS SHALL BE REMOVED AND RELOCATED BY THE CONTRACTOR, AS REQUIRED.

5. IF DISCREPANCIES BETWEEN SCALED AND LABELED DIMENSIONS SHOWN ON THESE PLANS ARE DISCOVERED, THE

CONTRACTOR SHALL IMMEDIATELY CONTACT SITE DESIGN CONCEPTS, INC. FOR CLARIFICATION.

6. UNLESS NOTED OTHERWISE, IN CASE OF CONFLICTS BETWEEN THE PLANS AND DETAILS SHOWN HEREIN AND MUNICIPAL ORDINANCES OR CONSTRUCTION SPECIFICATIONS, THE MUNICIPAL REQUIREMENTS SHALL TAKE

PRECEDENCE.

7. ANY EXISTING BITUMINOUS PAVING, CONCRETE CURB, CONCRETE PADS, SIDEWALK, UTILITY OR OTHER EXISTING IMPROVEMENT (SCHEDULED TO REMAIN) THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED, OR REPAIRED WITH MATERIAL EQUAL TO OR EXCEEDING THAT WHICH WAS DISTURBED, OR AS

REPLACING CONCRETE CURB, CONCRETE PADS AND/OR SIDEWALK, REMOVAL SHALL BE TO THE NEAREST EXPANSION JOINT IF POSSIBLE, TO CREATE A CLEAN, TOOLED (NON-SAWCUT) JOINT. PROVIDE DOWELS AT JOINTS AND INSTALL NEW EXPANSION JOINT MATERIAL AS REQUIRED.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC AND TRAFFIC CONTROL, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE ANY TEMPORARY ROAD CLOSING WITH THE

SPECIFIED BY THE OWNER, PROJECT OR MUNICIPAL ENGINEER, AS APPLICABLE. WHEN REMOVING AND

MUNICIPALITY AND/OR PENNDOT.

9. TEMPORARY TRAFFIC CONTROLS AND TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

10. CONTRACTOR SHALL MONITOR CONSTRUCTION VEHICLES AS REQUIRED TO AVOID TRACKING MUD AND DEBRIS ONTO ANY PAVED STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE STREET(S) AND/OR ACCESS DRIVE(S) CLEARED AND THE SITE IN AN APPROPRIATE WORKMAN—LIKE MANNER.

11. ALL EXISTING LAWN AREAS DISTURBED BY PROPOSED CONSTRUCTION SHALL BE RESTORED TO PROVIDE A MINIMUM SIX INCHES (6") TOPSOIL, GRADED TO SMOOTH, TRUE LINES AND SEEDED AND MULCHED PER

12. ANY LAND AREA THAT CANNOT BE ADEQUATELY STABILIZED WITH SEEDING AND MULCHING SHALL BE STABILIZED WITH AN EROSION CONTROL OR TURF REINFORCEMENT MATTING.

13. HANDICAP CURB RAMPS SHALL BE PROVIDED TO PROPOSED SIDEWALKS AT ALL PROPOSED STREET INTERSECTIONS AND AT LOCATIONS INDICATED ON THE SITE PLAN(S). RAMPS SHALL BE CONSTRUCTED PER

MUNICIPAL AND A.D.A REQUIREMENTS.

14. PROPOSED STORMWATER MANAGEMENT FACILITIES:

PROPOSED STORMWATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED TO MANAGE POST DEVELOPMENT STORM RUNOFF FROM PROPOSED IMPERVIOUS AREAS SHOWN ON THIS PLAN. NO PROVISIONS HAVE BEEN MADE TO MANAGE STORMWATER RUNOFF FROM ADDITIONAL FUTURE IMPERVIOUS AREAS NOT SHOWN ON THIS PLAN.

ALL PROPOSED STORM INLETS LOCATED WITHIN EXISTING/PROPOSED PUBLIC RIGHTS—OF—WAY SHALL BE

ALL PROPOSED STORM INLETS LOCATED WITHIN EXISTING/PROPOSED PUBLIC RIGHTS—OF—WAY SHALL BE PENNDOT 2'x4' TYPE M OR C AS SPECIFIED ON THE PROFILES, UNLESS OTHERWISE NOTED OR REQUIRED DUE TO PIPE SIZES, CONFIGURATIONS OR GEOMETRY. THE REAR EDGE OF THE TOP OF GRATE OF ALL TYPE—C INLETS LOCATED IN PROPOSED STREETS SHALL BE DEPRESSED ONE AND ONE—HALF (1—1/2) INCHES BELOW THE FLOWLINE. VANE GRATES SHALL BE PROVIDED ON INLETS AS SPECIFIED ON THE PROFILES. ALL INLETS SHALL INCLUDE A BICYCLE—SAFE INLET GRATE. ALL PROPOSED STORM PIPES SHALL BE WATERTIGHT SMOOTH LINED CORRUGATED POLYETHYLENE (SLCP) UNLESS NOTED OTHERWISE.

THE DESIGN OF THE PERMANENT STORMWATER INFILTRATION AND/OR STORMWATER QUALITY BMPS IS BASED ON REPRESENTATIVE SOIL TESTING PROCEDURES ACCEPTED BY PA DEP. DUE TO POSSIBLE VARIANCES IN THE SOIL PROPERTIES ENCOUNTERED WITHIN THE AREA OF THE ACTUAL BMP FACILITY, AND THE POTENTIAL ALTERATION OF PERCOLATION PROPERTIES OF THE SOIL DURING CONSTRUCTION, SITE DESIGN CONCEPTS, INC. DOES NOT GUARANTEE OR WARRANTY THAT THE BMPS WILL FUNCTION IN ACCORDANCE WITH THE PARAMETERS USED TO DESIGN THE BMPS.

 PROPOSED SITE GRADING HAS BEEN SHOWN TO PROVIDE A GENERAL REPRESENTATION OF THE FINISHED GROUND CONTOUR AND DRAINAGE PATTERNS FOR STORMWATER DESIGN PURPOSES.

 ALL DIMENSIONS IN AREAS OF PROPOSED CURBING ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

 ALL ELEVATIONS ARE AT THE CENTER OF STRUCTURE AT THE FLOWLINE OF THE FACE OF CURB OR AT THE CENTER OF STRUCTURE IN GRASSED AREAS, UNLESS OTHERWISE NOTED.

 FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

19. THE MEASURES REQUIRED IN THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN AND SHALL BE COMPLETED AND IN SERVICE PRIOR TO THE COMMENCEMENT OF ANY SITE

20. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

21. CURB AND PAVEMENT SHALL BE INSTALLED IN A MANNER AS TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.

22. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY

23. WHERE IT IS NECESSARY TO CONNECT TO OR EXTEND AN EXISTING ROAD OR PAVEMENT, SAW CUT THE EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH

AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS AND CURBS.

TRANSITION AND POSITIVE DRAINAGE.

24. SITE CONTRACTOR SHALL PROVIDE DETAILED AS—BUILT INFORMATION TO PROJECT ENGINEER FOR ALL PROPOSED SANITARY SEWER AND STORMWATER MANAGEMENT, CONVEYANCE AND B.M.P. STRUCTURES / FACILITIES (PUBLIC AND PRIVATE) FOR PROJECT ENGINEER'S USE IN PREPARATION OF RECORD DRAWINGS.

25. SITE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY AND SHALL BE RESPONSIBLE FOR VERIFYING LOCATION AND DEPTH (ELEVATION) OF ALL UTILITIES PRIOR TO CONSTRUCTION TO AVOID ELEVATION CONFLICTS

WITH PROPOSED IMPROVEMENTS AND DAMAGE TO EXISTING UTILITIES.

26. CONTRACTOR SHALL COORDINATE WITH YORK RAIL TO AVOID DAMAGE TO RAIL FACILITIES AND CONFLICT WITH THE YORK RAIL ACTIVE RAILROAD TRACKS IMMEDIATELY ADJACENT TO THE PROJECT SITE.

#### STORM DRAINAGE PIPE INSTALLATION NOTES

STORM DRAIN PIPES SHALL BE ADS N-12 HDPE PIPE WITH ADS PRO-LINK ULTRA (IN-LINE BELL) PIPE JOINTS
(FOR WATER TIGHT CONNECTIONS), ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS), AND/OR ASTM C-76
RCP WITH BELL AND SPIGOT JOINTS OR APPROVED EQUAL, REFER TO PLAN AND PROFILES FOR MATERIALS

2. CURVILINEAR INSTALLATION OF ADS (N-12) PIPE SHALL USE PRO-LINK WT JOINTS FOR WATER TIGHT CONNECTIONS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTALLATION REQUIREMENTS. CURVILINEAR PIPE WITH PRO-LINK WT BELL/BELL COUPLER OR MITERED BELL COUPLER SHALL BE INSTALLED WITH A MAXIMUM THREE INCH (3") DEFLECTION AT EACH JOINT. TO ACHIEVE A RADIUS OF LESS THAN 200 FEET, INSTALL TEN FOOT (10') PIPE LENGTHS WITH A GASKETED BELL/BELL COUPLER. ALL INSTALLATION MUST BE COORDINATED WITH A MANUFACTURER'S REPRESENTATIVE.

 ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 PER MANUFACTURER'S INSTALLATION REQUIREMENTS.

#### GENERAL LAND DEVELOPMENT NOTES

- THE PURPOSE OF THIS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN IS TO DEPICT THE REDEVELOPMENT OF THE FORMER MET-ED STEAM PLANT BUILDING AND ASSOCIATED IMPROVEMENTS AT THE CORNER OF N. PERSHING AVE. AND W. PHILADELPHIA ST. IN YORK CITY, YORK COUNTY, PA.
- PARCEL INFORMATION: COMBINED LOT FROM PRELIMINARY/FINAL SUBDIVISION PLAN FOR LANDS OF YORK COUNTY HERITAGE TRUST, PREPARED BY SITE DESIGN CONCEPTS, INC., DATED 10.04.21.
- 3. EXISTING LAND TRACT IS ZONED: CBD, CENTRAL BUSINESS DISTRICT WITH HISTORICAL ARCHITECTURAL REVIEW
  - 4. ADJACENT LAND TRACTS ARE ZONED;
    NORTH: CBD, CENTRAL BUSINESS DISTRICT

SOUTH: CBD, CENTRAL BUSINESS DISTRICT EAST: CBD, CENTRAL BUSINESS DISTRICT WEST: CBD, CENTRAL BUSINESS DISTRICT

5. EXISTING LAND TRACT(S) USE: VACANT BUILDINGS AND PARKING AREAS PROPOSED LAND TRACT USE: REDEVELOPMENT OF SITE FOR YORK COUNTY HISTORY CENTER MUSEUM AND

6. PROPOSED USE WILL BE SERVED BY AN EXISTING PUBLIC WATER SUPPLY PROVIDED BY YORK WATER COMPANY AND AN EXISTING PUBLIC SANITARY SEWAGE DISPOSAL SYSTEM PROVIDED BY THE CITY OF YORK.

 MINIMUM REQUIRED LOT AREA: 1,500 S.F. EXISTING LOT AREA: 87,027 S.F.± (1.998 AC.±) GROSS

86,228 S.F.± (1.980 AC.±) NET

8. MINIMUM REQUIRED LOT WIDTH: 20 FT.

EXISTING LOT WIDTH (ALONG W. PHILADELPHIA ST.): 120 FT.±
EXISTING LOT WIDTH (ALONG W. GAY AVE.): 150 FT.±
EXISTING LOT WIDTH (ALONG N. PERSHING AVE.): 612 FT.±

EXISTING LOT WIDTH (ALONG N. PARK LN.): 308 FT.±

9. MINIMUM REQUIRED SETBACKS:
PRINCIPAL BUILDINGS & STRUCTURES:

FRONT: N/A SIDE: N/A REAR: N/A

10. MAXIMUM ALLOWABLE BUILDING HEIGHT: N/A

11. MAXIMUM ALLOWABLE LOT COVERAGE: 100% OF GROSS LOT AREA. EXISTING LOT COVERAGE: 84% (72,411 S.F.±/86,228 S.F.±) PROPOSED LOT COVERAGE: 88% (75,595 S.F.±/86,228 S.F.±)

12. MINIMUM OPEN AREA: 0% OF GROSS LOT AREA. EXISTING OPEN AREA: 16% (13,817 S.F.±/86,228 S.F.±) PROPOSED OPEN AREA: 12% (10,633 S.F.±±/86,228 S.F.±)

13. PARKING REQUIREMENTS: BASIS: PER SECTION 1309.01.d OF THE CITY OF YORK ZONING ORDINANCE, OFF—STREET PARKING IS WAIVED FOR ALL USES WITHIN THE CBD ZONING DISTRICT.
PROPOSED NO. OF SPACES = 55

EXISTING NO. OF ADA HANDICAP PARKING SPACES = 3 PROPOSED NO. OF ADA HANDICAP PARKING SPACES = 4

MINIMUM PARKING SPACE SIZE = 18'L. x 9'W.

BASIS: FOR ALL INSTITUTIONAL, COMMERCIAL, INDUSTRIAL, AND UTILITY/TRANSPORTATION USES WHOSE PRINCIPAL BUILDINGS HAVE AN AGGREGATE FLOOR AREA EXCEEDING 6,000 SQUARE FEET, AT LEAST ONE (1) OFF-STREET LOADING SPACE SHALL BE PROVIDED.

PROPOSED NO. OF LOADING SPACES = 2

MINIMUM LOADING SPACE SIZE = 45°L, x 12X°W, x 14°H,

15. PROJECT SITE IS NOT LOCATED WITHIN A MAPPED FLOOD PLAIN BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF YORK, COMMUNITY NUMBER 420945, PANEL 0328, SUFFIX F, MAP NUMBER 42133C0328F, EFFECTIVE DATE: DECEMBER 16, 2015. PORTIONS OF THE PROJECT SITE ARE CONSIDERED IN AN "AREA WITH REDUCED RISK DUE TO LEVEE."

16. EXISTING SITE FEATURES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED BY C.S. DAVIDSON IN 2008 AND UPDATED IN 2017. THIS PLAN DOES NOT REPRESENT AN ACTUAL FIELD

17. CONTOURS SHOWN ON THIS PLAN HAVE BEEN GENERATED FROM AN ACTUAL FIELD SURVEY PERFORMED BY C.S. DAVIDSON IN 2008 AND UPDATED IN 2017. THIS PLAN DOES NOT REPRESENT AN ACTUAL FIELD SURVEY BY

18. SITE PROPERTY LINE DEPICTED ON THIS PLAN HAS BEEN TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED BY C.S. DAVIDSON IN 2008 AND UPDATED IN 2007. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY BY SITE DESIGN CONCEPTS, INC.

19. SITE BENCHMARK:

CITY OF YORK "YOO3 GPS" MONUMENT DISK AT THE SOUTHWEST CORNER OF NORTH PERSHING AVENUE AND WEST PHILADELPHIA STREET. ELEV.= 366.41

HORIZONTAL DATUM BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (1983) NAD83 SOUTH ZONE US SUBVEY FEET. MERICAN DATUM BASED ON THE NORTH AMERICAN MERICAN MERICAN

(1983) NAD83, SOUTH ZONE, US SURVEY FEET. VERTICAL DATUM BASED ON THE NORTH AMERICAN VERTICAL DATUM (1988) NAVD 88, SOUTH ZONE, ESTABLISHED BY GPS TECHNOLOGY.
20. THIS PLAN IN NO WAY GUARANTEES, WARRANTS OR IMPLIES THAT THE PROPERTY IS NOT AFFECTED BY

RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".

21. CLEAR SIGHT TRIANGLE REQUIREMENTS (CORNER AND DOUBLE FRONTAGE LOTS):
25 FT. ALONG CENTERLINE OF ARTERIAL AND COLLECTOR STREETS.

12 FT. ALONG CENTERLINE OF LOCAL STREETS.

NO BUILDING OR STRUCTURE IS PERMITTED WITHIN CLEAR SIGHT TRIANGLE. HOWEVER, OBSTRUCTIONS AND PLANTINGS LESS THAN THREE (3) FEET IN HEIGHT OR MORE THAN TEN (10) FEET IN HEIGHT SHALL BE

22. BASED UPON A REVIEW OF THE NATIONAL WETLANDS INVENTORY MAP, THERE ARE NO EXISTING WETLAND AREAS THAT WILL BE AFFECTED BY THIS PROJECT,

23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF YORK CONSTRUCTION SPECIFICATIONS.
 24. ALL PROPERTY CORNERS NOT CURRENTLY SET SHALL BE SET IN ACCORDANCE WITH THE CITY OF YORK SPECIFICATIONS (SECTION 1336.01).

25. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND, UNLESS PROHIBITED BY THE UTILITY COMPANY.

26. THE DEVELOPER SHALL GIVE THE CITY ENGINEER AT LEAST THREE (3) WORKING DAYS (72 HOURS) NOTICE PRIOR TO BEGINNING WORK TO ASSIGN AN INSPECTOR TO THE PROJECT AND REVIEW PLANS AND GRADE SHEETS. NO

WORK MAY BEGIN UNTIL GRADE SHEETS HAVE BEEN REVIEWED BY THE TOWNSHIP ENGINEER.

27. THERE ARE NO PROPOSED RESTRICTIONS WHICH SHALL RUN WITH THE LAND AND BECOME COVENANTS IN THE

28. LAND OWNER: YORK COUNTY HERITAGE TRUST 250 EAST MARKET ST.

YORK, PA 17403

PROPERTY ADDRESS: 121 NORTH PERSHING AVE. 151 WEST GAY AVE.

YORK, PA 17401

(a) (b) (c) (c) (c) (c) (c) (c) (c) (c) (c) (c	(i)	W. GAS ALLEY	① ④	BLOCK 045	45 ××××××××××××××××××××××××××××××××××××
W. GAY AVE.	SIT		<b>⑤</b>	ADELPHIA ST.	# (48)   (22)   (36)   (50)
BLOCK 046	13) N. I	PERSHING AVE.		W. PHILA	(S) (S) (S) (S) (M)
(13)			1)	BLOCK 049	(4)
ADJACENT PROPERTY OWNERS VICINITY MAP					

SCALE: 1" = 60"

ADJOINING PARCEL INFORMATION								
BLOCK/PARCEL NO.	UPI	OWNER(S) (NOW OR FORMERLY)	DEED / RECORD BOOK	PROPERTY ADDRESS				
44-22	03-044-01-0022,00-00000	YORK CITY SCHOOL DISTRICT	1921-5664	31 N. PERSHING ST.				
44-24A	03-D44-01-0D24.A0-00000	MICHAEL J. AXE & REGAN E. ROBERTS	2663-6124	57 N. PERSHING ST.				
44-45	03-044-01-0045.0D-0000D	PHILVER1984 LP	2333-4728	122 W. PHILADELPHIA ST.				
44-45	03-044-01-0045,00-00000	PHILVER1984 LP	2333-4728	W. PHILADELPHIA ST.				
44-47	03-044-01-0047.0D-0000D	PHILVER1984 LP	2333-472B	128 W. PHILADELPHIA ST.				
44-48	03-044-01-0048.0D-0000D	YORK CITY SCHOOL DISTRICT	1967-1909	140 W. PHILADELPHIA ST.				
44-50	03-044-01-0050.00-00000	JOAN M. SNYDER	1341-1277	148 W. PHILADELPHIA ST.				
44-51	D3-044-01-0051.00-00D00	DANIEL G. WALCZYK	2401-5870	148 W. PHILADELPHIA ST.				
44-52	03-044-01-0052.0D-0000D	KIM M. THOMAS	2397-7771	150 W. PHILADELPHIA ST.				
44-53	03-044-01-0053.00-00000	M&T CONSTRUCTION GROUP	2645-3736	154 W. PHILADELPHIA ST.				
44-54	03-044-01-0054.0D-0000D	INCITE YORK	2176-4584	156 W. PHILADELPHIA ST.				
45-1	D3-045-01-0001.00-00D00	CENTRAL MARKET HOUSE CO.	1336-6665	101 W. PHILADELPHIA ST.				
45-4	03-045-01-0004.00-00000	METROPOLITAN EDISON CO.		125 W. PHILADELPHIA ST.				
45-5	03-045-01-0005.00-00000	FRIENDS MEETING HOUSE YORK PA		137-145 W. PHILADELPHIA ST				
45-10	D3-045-01-0010.00-00D00	ST. JOHNS EPISCOPAL CHURCH		130-142 N. BEAVER ST.				
45-11	03-045-01-0011.00-00000	REDEVELOPMENT AUTHORITY OF THE CITY OF YORK	1854-7086	146-150 N. BEAVER ST.				
48-7	03-046-01-0007.00-00000	REDEVELOPMENT AUTHORITY OF THE CITY OF YORK	1579-2033	132-152 N. PERSHING AVE.				
46-9	03-046-01-00D9.0D-0000D	KEYSTONE COLORWORKS PARTNERSHIP LP	2333-976	175 W. GAY AVE.				
48-4	03-048-01-0004.00-00000	CITY OF YORK GENERAL AUTHORITY	1252-677	211-213 W. MARKET ST.				
49-1	03-049-01-0001.00-00000	REDEVELOPMENT AUTHORITY OF THE COUNTY OF YORK	2651-4481	205 W. PHILADELPHIA ST.				
49-13	D3-049-01-0013.00-00D00	CITY OF YORK	2505-5241	N. PERSHING ST.				

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PROGRESS DRAWING
(FOR REVIEW ONLY)

NO. DATE COMMENTS

site design concept

MIN Z Z

RENOVATION/EXPANSION

BUILDING RENOVATIO
FOR
YORK COUNTY HIST
121 NORTH PERSH

CALE AS NOTED

PRAWN BY

CIF

CHECKED BY

TBE

CONTACT

TBE

PATE

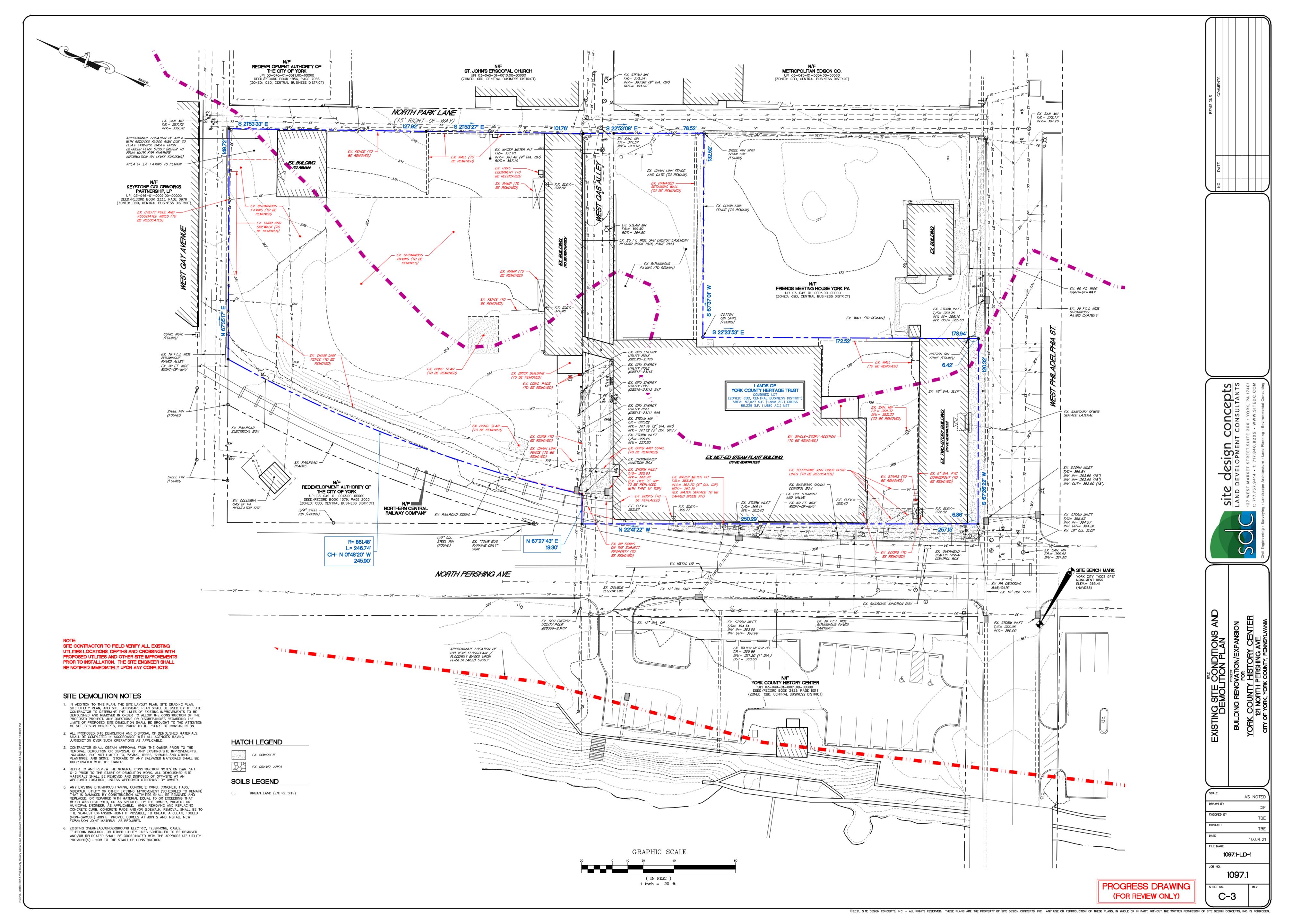
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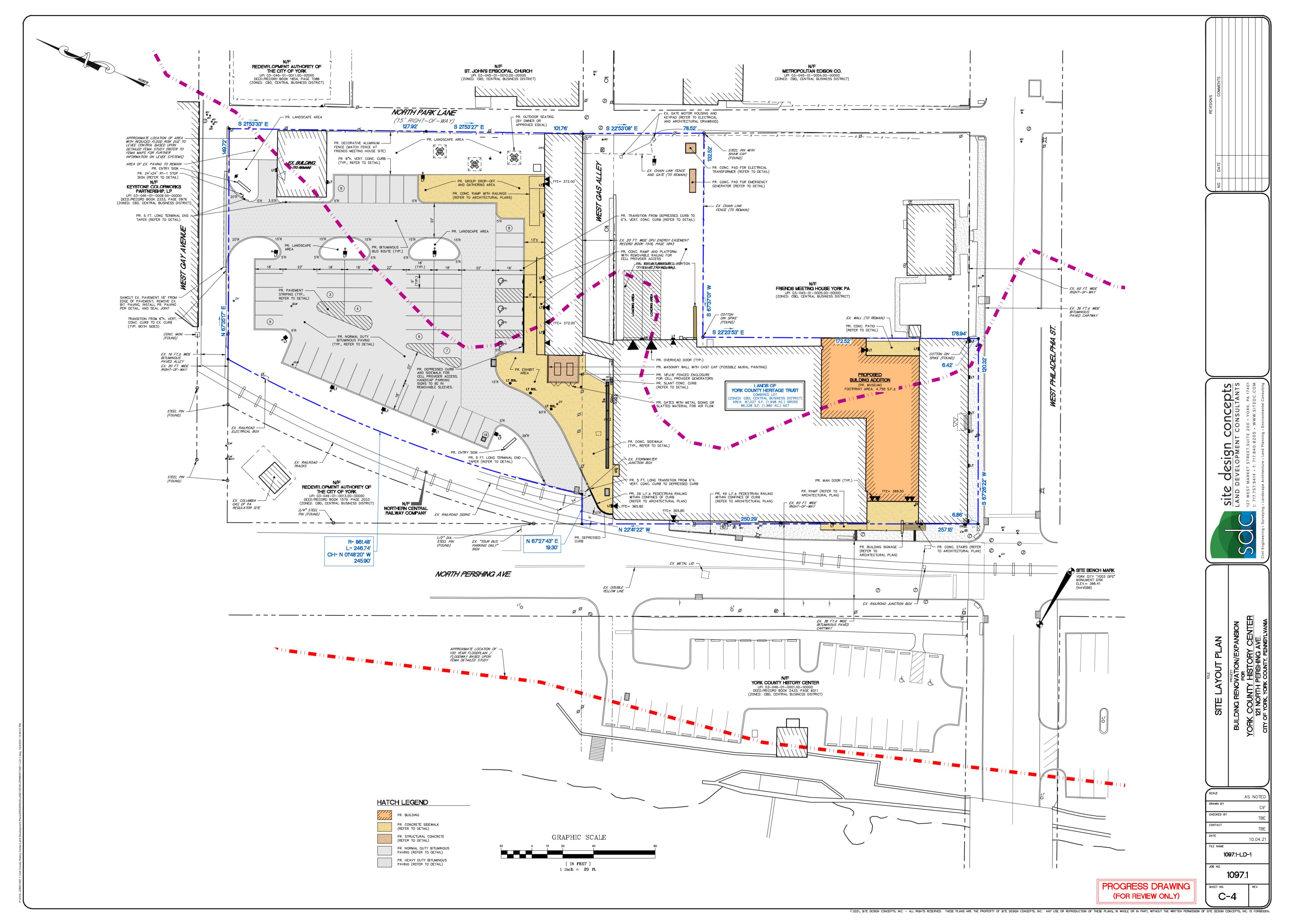
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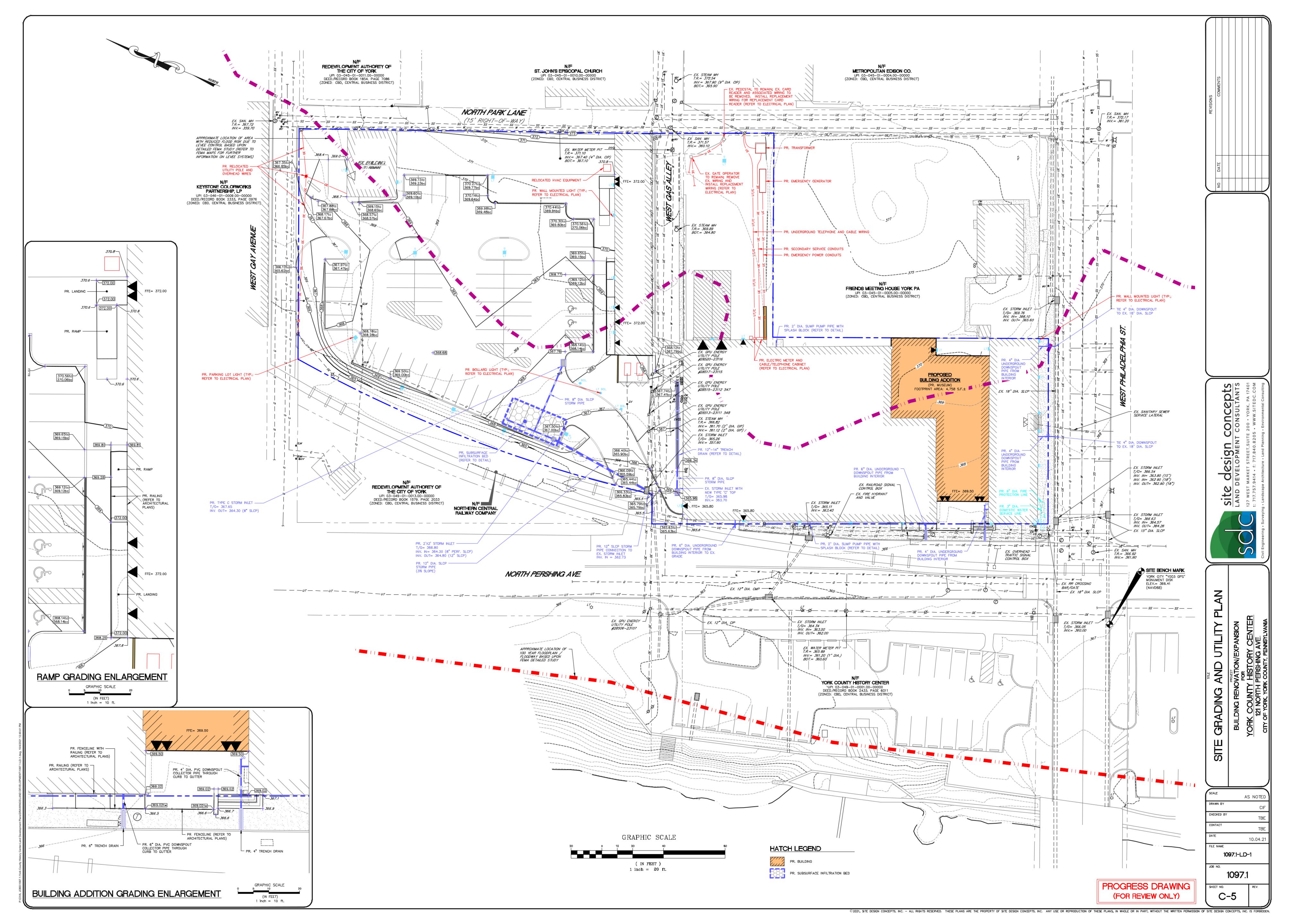
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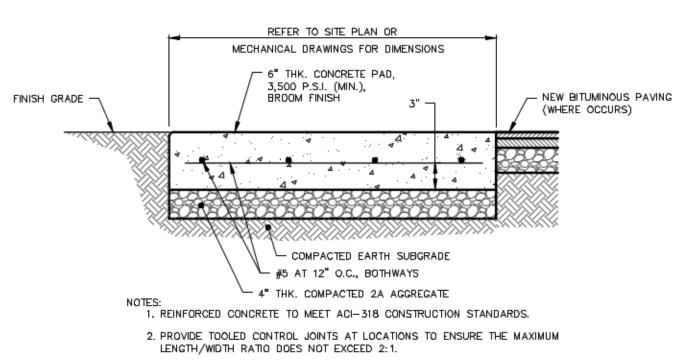
SS DRAWING SHEET NO.

C-2

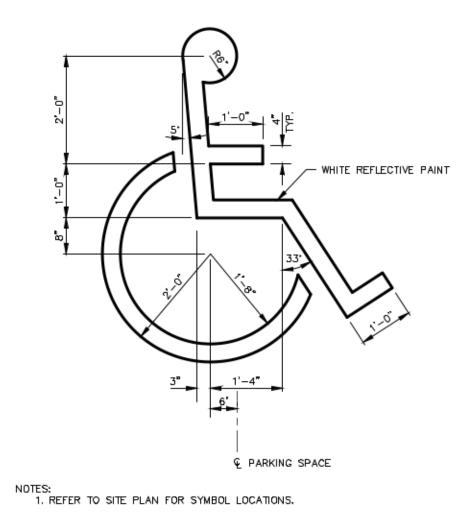






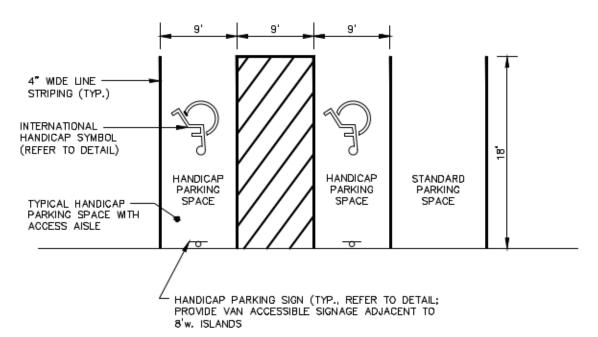


#### TYPICAL CONCRETE MECHANICAL EQUIPMENT PAD



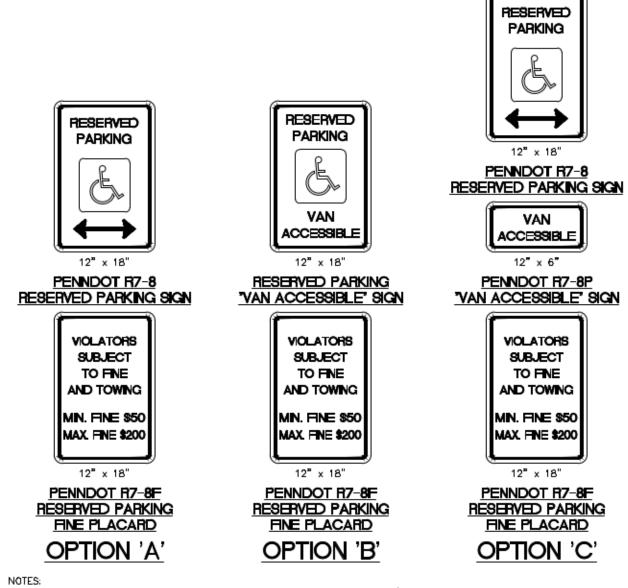
2. PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR REGARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION REQUIREMENTS.

#### INTERNATIONAL HANDICAP PAINTED PARKING SPACE SYMBOL



- 1. A.D.A. ACCESSIBLE VEHICLE STANDING (PARKING) SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
- 2. LINE WIDTH SHALL BE 4" UNLESS INDICATED OTHERWISE. COLOR SHALL BE WHITE, SURFACES SHALL BE DRY, CLEAN AND FREE OF TRAFFIC. ALL LINES SHALL BE STRAIGHT, TRUE AND NEAT. PAINT SHALL BE APPLIED IN TWO COATS HAVING A FINAL DRY THICKNESS OF 12 MILS. MINIMUM. 3. LINE PAINTING, AS INDICATED ON DRAWINGS, SHALL BE HIGHWAY APPROVED TYPE, IN ACCORDANCE WITH
- PENNDOT SPECIFICATIONS. 4. STANDARD HANDICAP SYMBOL SHALL BE PAINTED WHITE ON BLUE PAINTED CIRCLE AS REQUIRED BY
- UNIFORM ACCESSIBILITY STANDARDS AND DETAIL PROVIDED BY THE ENGINEER. 5. A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, LISTED IN APPENDIX A OF THE TITLE III REGULATIONS, SECTION 4.1.2(5)(B) STATES ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NO LESS THAN ONE SHALL BE SERVED BY AN ACCESS AISLE 96" MIN. WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS REQUIRED BY 4.6.4. IN THIS CASE A "VAN ACCESSIBLE" SIGN MUST BE PROVIDED IN ADDITION TO A
- 6. PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR REGARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION

#### TYPICAL HANDICAP PARKING SPACE STRIPING NO SCALE

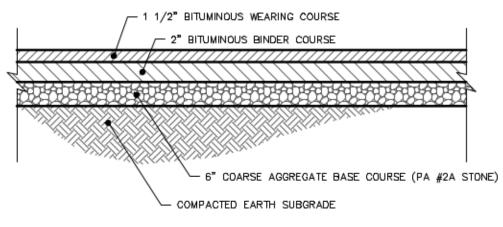


- 1. HANDICAP SIGNAGE SHALL BE PROVIDED AND INSTALLED PER PENNDOT (TITLE 67, CH. 212, OFFICIAL TRAFFIC—CONTROL DEVICES) AND/OR MUNICIPAL REQUIREMENTS, AS APPLICABLE 2. A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, LISTED IN APPENDIX A OF THE TITLE III REGULATIONS, SECTION 4.1.2(5)(B)
- 96" MIN. WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS REQUIRED BY 4.B.4. IN THIS CASE A "VAN ACCESSIBLE" SIGN MUST BE PROVIDED IN ADDITION TO A "RESERVED PARKING" SIGN. 3. WHERE HANDICAP PARKING IS FACING A BUILDING WALL AND/DR CONCRETE WALK, SIGN MAY BE MOUNTED ON BLDG. WALL AT PROPER HEIGHT, UPON APPROVAL FROM OWNER.

STATES ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NO LESS THAN ONE SHALL BE SERVED BY AN ACCESS AISLE

4. PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR RECARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION REQUIREMENTS. 5. WHERE NON-"VAN ACCESSIBLE" HANDICAP PARKING SPACES ARE REQUIRED, USE SIGN OPTION 'A'. WHERE HANDICAP PARKING SPACES ARE RESERVED FOR "VAN ACCESSIBLE" USE, OPTION 'B' OR 'C'. IN PROJECTS UNDER PENNDOT JURISDICTION, USE OPTION "C" FOR SIGNING "VAN ACCESSIBLE" HANDICAP PARKING SPACES.

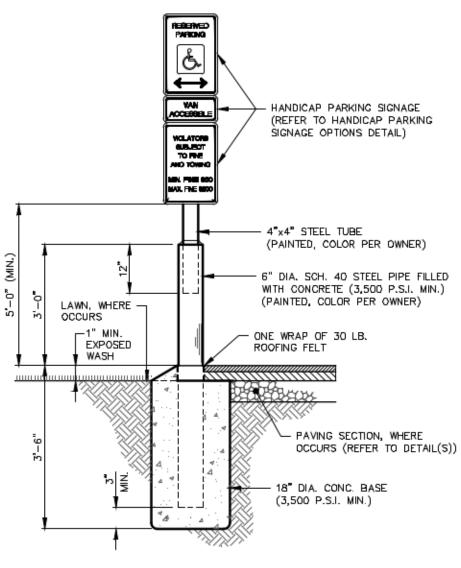
TYPICAL HANDICAP PARKING SIGNAGE OPTIONS



NOTE:

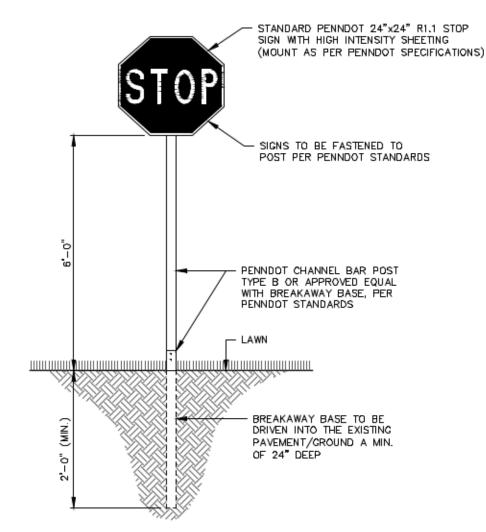
1. IF SATURATED SUBGRADE CONDITIONS ARE ENCOUNTERED,
CONTRACTOR SHOULD NOTIFY ENGINEER IMMEDIATELY.

#### TYPICAL NORMAL DUTY **BITUMINOUS PAVING SECTION**



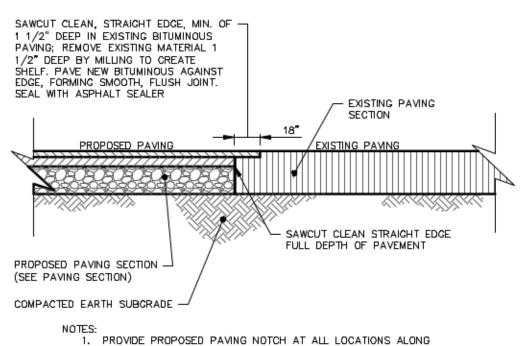
- 1. WHERE HANDICAP PARKING IS FACING A BUILDING WALL AND/OR CONCRETE WALK, SIGN MAY BE MOUNTED ON THE BUILDING WALI AT THE PROPER HEIGHT. UPON OWNER APPROVAL
- 2. ANY FREESTANDING SIGN IN PARKING LOT SHALL BE MOUNTED AS
- 3. PROVIDE SIGNAGE ON BOTH SIDES OF POST WHEN REQUIRED.
- 4. USE EXTREME CARE WHEN INSTALLING SIGNS NEAR/OVER EXISTING UTILITY LINES. 5. PRIOR TO INSTALLATION, CONTRACTOR SHALL CONFIRM THE
- INTERPRETATION OF THE MUNICIPAL BUILDING INSPECTOR REGARDING A.D.A. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE INSTALLATION REQUIREMENTS.

#### TYPICAL HANDICAP PARKING SIGN WITH BOLLARD PROTECTION



1. ANY FREESTANDING SIGN IN PARKING LOT SHALL BE MOUNTED AS SHOWN. 2. REFER TO SITE PLAN FOR LOCATION AND TYPE OF SIGN.

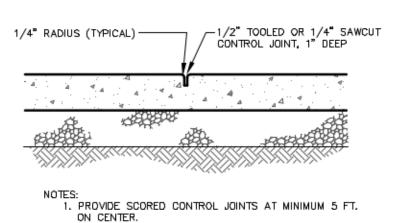
### TYPICAL STOP SIGN WITH STEEL POST DETAIL



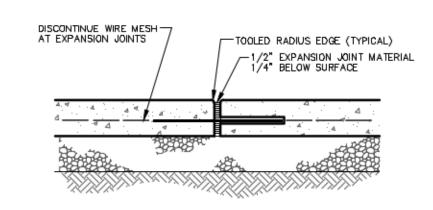
CONNECTION OF PROPOSED BITUMINOUS PAVING WITH EXISTING

2. CONTRACTOR TO VERIFY THAT SUFFICIENT PAVEMENT DEPTH OF EXISTING ASPHALT UNDERLINES BITUMINOUS OVERLAP.

PROPOSED BITUMINOUS PAVING SAWCUT AND MILLING AT JOINT WITH EXISTING PAVING

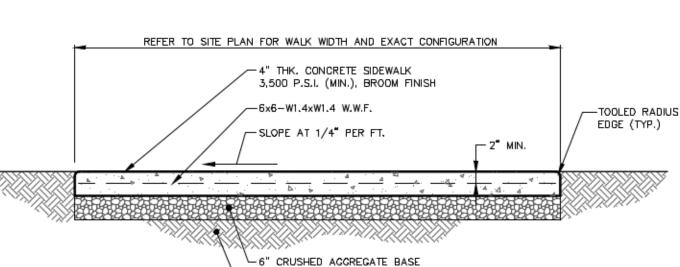


#### TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL NO SCALE J-103



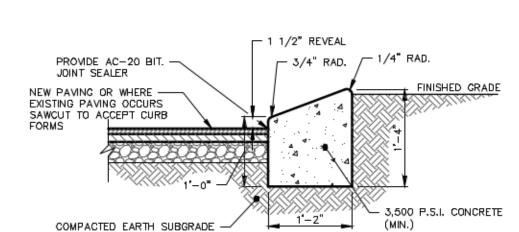
 PROVIDE EXPANSION JOINTS AT MINIMUM 20 FT, ON CENTER, OR AS SPECIFIED OTHERWISE ON THE NO. 4 REBAR SPACED AT 24" ON CENTER (MAXIMUM) -ONE END TO BE RENDERED BONDLESS.

#### TYPICAL CONCRETE EXPANSION JOINT DETAIL NO SCALE J-102

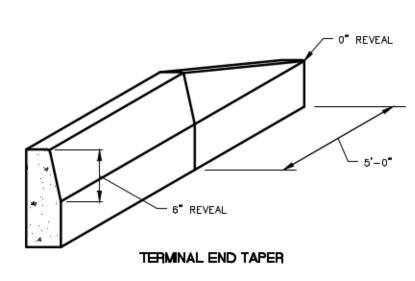


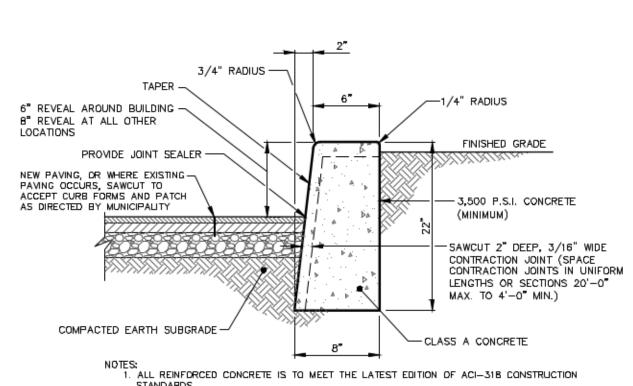
- COURSE AASHTO NO. 57 STONE -COMPACTED EARTH SUBGRADE
- NOTES:
  1. PROVIDE EXPANSION JOINTS AT MINIMUM 20 FT. CENTER TO CENTER.
- 2. PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. CENTER TO CENTER.
- 3. ALL CONCRETE IS TO MEET ACI-318 CONSTRUCTION STANDARDS. 4. PROVIDE TOOLED RADIUS EDGES ON ALL EXPOSED EDGES/CORNERS.

#### TYPICAL CONCRETE SIDEWALK/PATIO DETAIL



- 1. WHERE NEW CURB IS TO BE INSTALLED WITHIN EXISTING PAVING, PROVIDE NEW BASE AND PAVING TO MATCH EXISTING.
  - INSTALL 3/4" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES, THE BEGINNING & END OF ALL CURVES AND AT THE END OF THE WORK DAY. PROVIDE SAWCUT CONTRACTION JOINTS AT 20'-0" C.C. MAX.
- PROVIDE SMOOTH TRANSITION FROM SLANT CURB TO PENNDOT TYPE 'C' INLET TOP UNITS ON STORM CATCH BASINS. 4. ALL CONCRETE SHALL COMPLY WITH PENNDOT 408 SPECIFICATIONS, CURRENT
- TYPICAL SLANT CONCRETE CURB





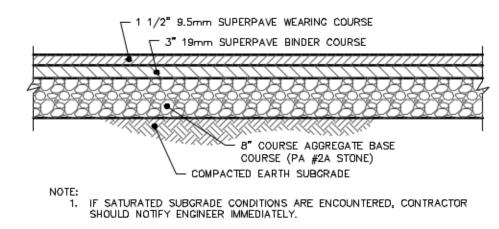
2. INSTALL 1/2" PREMOULDED EXPANSION JOINT MATERIAL AT 20' C./C. AND AT THE

3. INSTALL CONCRETE CURB AS PER CITY OF YORK CONSTRUCTION AND MATERIALS

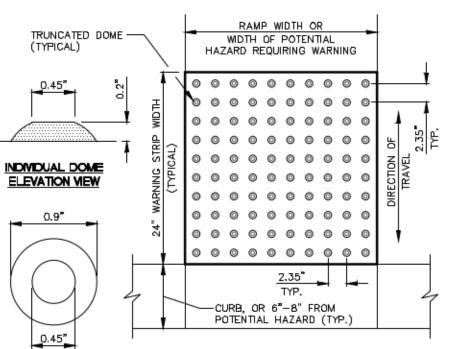
SPECIFICATIONS.

YORK CITY TYPICAL 22" VERTICAL CONCRETE CURB

NO SCALE



TYPICAL HEAVY DUTY **BITUMINOUS PAVING SECTION** 

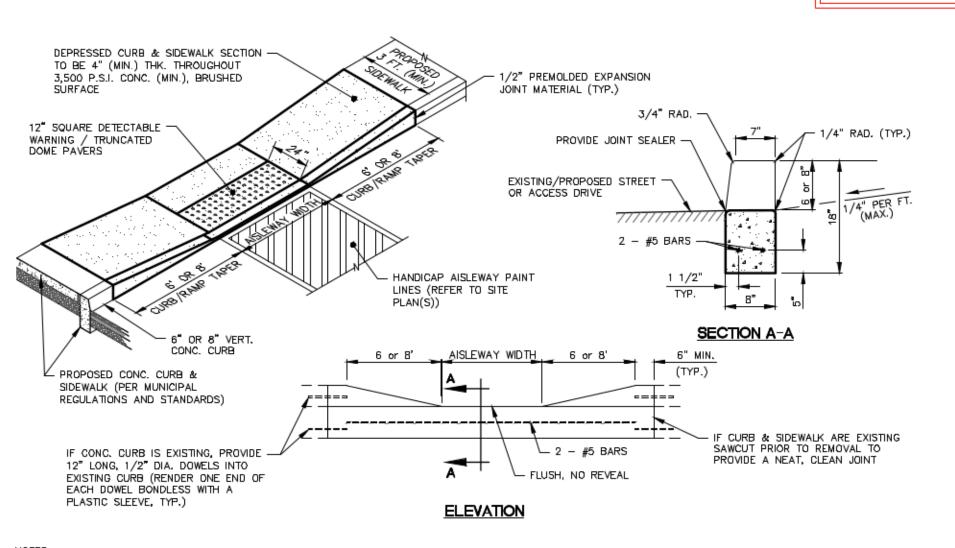


DETECTABLE WARNING STRIP PLAN VIEW PLAN VIEW

- REFER TO SITE PLAN(S) FOR LOCATIONS OF CURB RAMPS AND OTHER POTENTIAL
   HAZARD AREAS REQUIRING DETECTABLE WARNINGS. REFER TO SITE DETAILS FOR
- DETECTABLE WARNINGS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE A.D.A. STANDARDS. 3. DETECTABLE WARNINGS SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. WARNINGS SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE OR OTHER POTENTIAL HAZARD IS 6 TO 8 INCHES FROM THE CURB LINE OR OTHER POTENTIAL HAZARD. WHERE ISLANDS OR MEDIANS ARE LESS THAN 48 INCHES WIDE, THE DETECTABLE WARNING SHALL EXTEND ACROSS THE FULL LENGTH O
- THE CUT THROUGH THE ISLAND OR MEDIAN. 4. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES. 5. THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE (LIGHT ON DARK, DARK ON LIGHT, OR SAFETY YELLOW). THE MATERIAL USED TO PROVIDE VISUAL CONTRAST SHALL BE AN INTEGRAL PART OF THE DETECTABLE WARNING SURFACE.
- 6. DETECTABLE WARNINGS SHALL BE STAMPED CONCRETE, APPLIED MATS, PANELS OR PAVERS INSTALLED IN ACCORDANCE WITH A.D.A. REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS.

#### TYPICAL A.D.A. DETECTABLE WARNING TRUNCATED DOME DETAIL NO SCALE

PROGRESS DRAWING (FOR REVIEW ONLY)



REFER TO SITE PLAN(S) FOR SIDEWALK WIDTHS AND LOCATIONS OF SPECIFIC CURB RAMPS. REFER TO SIDEWALK DETAIL(S) FOR CONCRETE SIDEWALK

- 2. ALL CURB RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH ALL APPLICABLE A.D.A. AND/OR MUNICIPAL REQUIREMENTS, INCLUDING THE INSTALLATION OF DETECTABLE WARNINGS / TRUNCATED DOMES.
- 3. CONTRACTOR SHALL CONTACT SITE ENGINEER IF SITE CONDITIONS VARY FROM OR DO NOT ALLOW CURB RAMP CONSTRUCTION PER THE ABOVE DETAILS.
- 4. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTIONS 350, 420, 630, AND 676. 5. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
- SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- 7. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
- 8. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK PITCH. 9. WHENEVER POSSIBLE CONSTRUCT THE TRANSITION SLOPE FROM THE CURB RAMP AND FLARE SIDES TO ADJOINING SURFACES WITH A GRADUAL CURVE RATHER
- REFER TO A.D.A. DETECTABLE WARNING / TRUNCATED DOME REQUIREMENTS AND TYPICAL DETAIL(S). TYPICAL DEPRESSED CURB/SIDEWALK/HANDICAP RAMP DETAIL

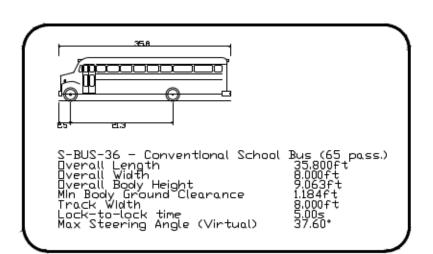
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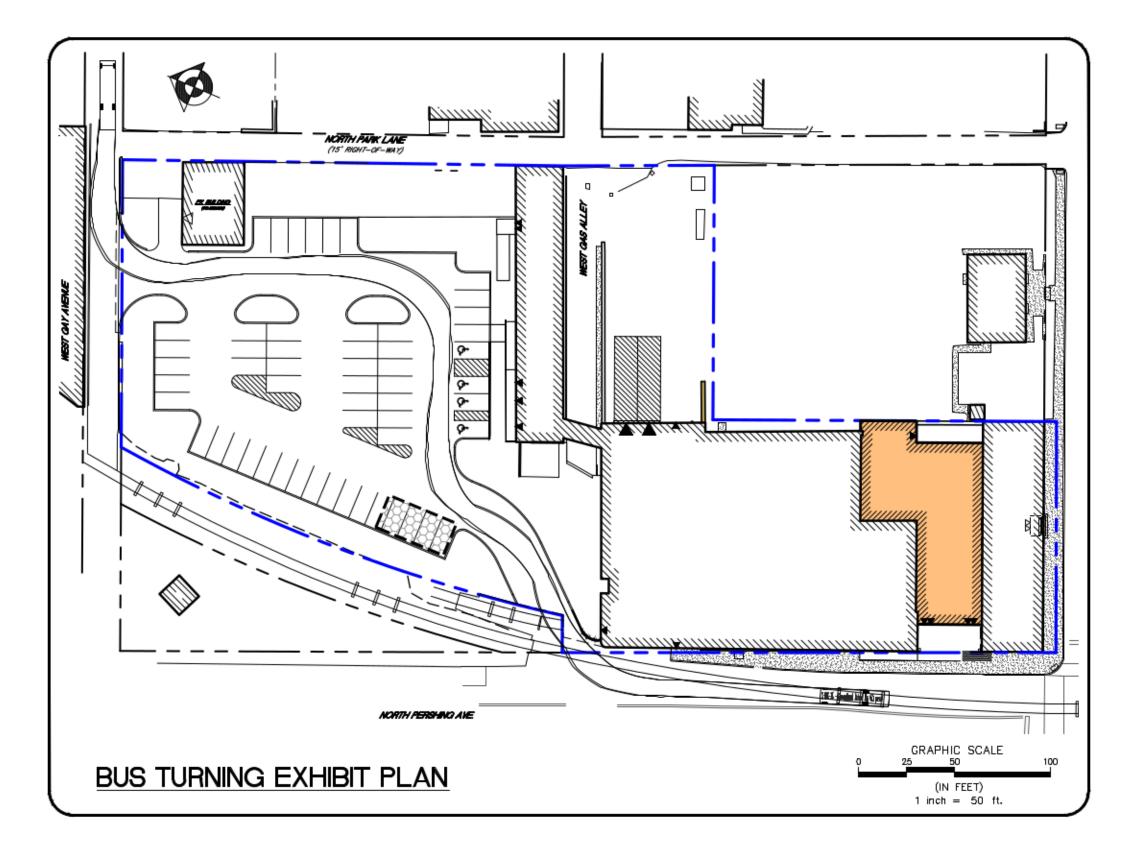
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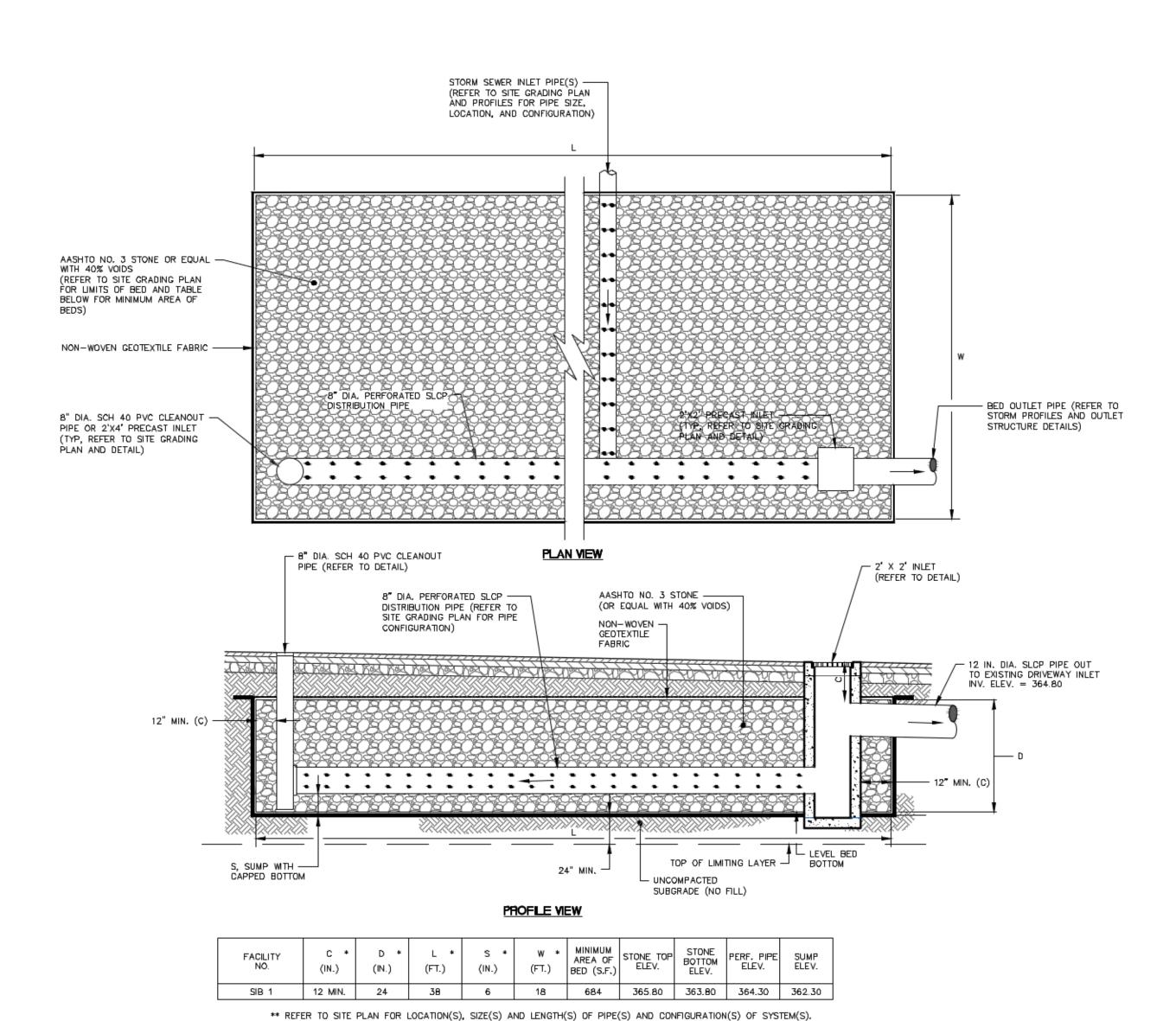
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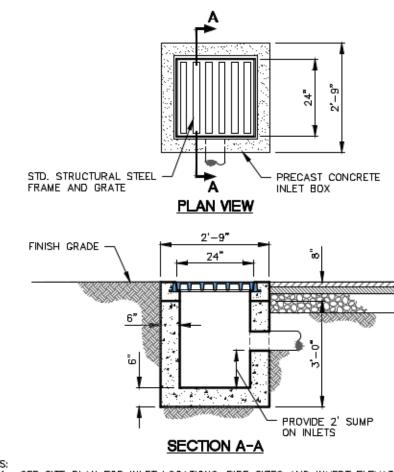






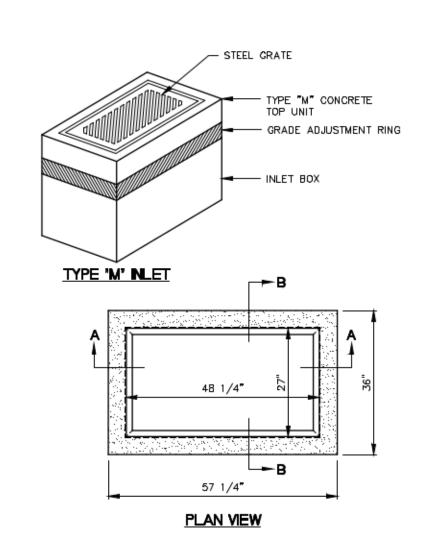
- NOTES:
  1. ALL CLEANOUTS SHALL CONTAIN THREADED CAPS. REFER TO SITE PLAN FOR LOCATION OF INLETS, CLEANOUTS, LOCATED WITHIN ALL
  SUBSURFACE STONE INFILTRATION BEDS. REFER TO ENLARGED GRADING PLAN AND PROFILES FOR TOP ELEVATIONS OF INLETS AND CLEANOUTS
  LOCATED WITHIN THE SUBSURFACE STONE INFILTRATION BEDS. 2. DISTRIBUTION PIPES FOR SUBSURFACE INFILTRATION BED SHALL BE CONTINUOUSLY PERFORATED SMOOTH INTERIOR, WITH A MINIMUM INSIDE
- DIAMETER OF 8 INCHES. SLCP PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M294, TYPE S. 3. CAPPED CLEANOUTS MUST BE PROVIDED AT 100 FOOT INTERVALS FROM ROOF DOWNSPOUTS TO SUBSURFACE INFILTRATION BED AND MAY BE PROVIDED AT ENDS OF DISTRIBUTION PIPES,

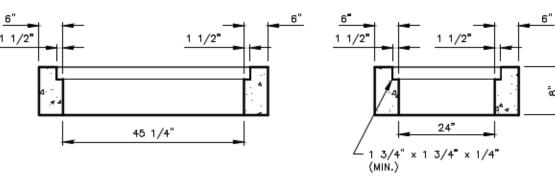
### SUBSURFACE STONE INFILTRATION BEDS (S.I.B.)



- NOTES:
  1. SEE SITE PLAN FOR INLET LOCATIONS, PIPE SIZES AND INVERT ELEVATIONS.
- 2. CAST HOLES IN INLET BOXES AS REQUIRED TO MEET PLAN PIPING DESIGN.
- 3. PLACE INLET BOXES ON THOROUGHLY COMPACTED EARTH SUBGRADE. 4. USE PRECAST CATCH BASIN BY MONARCH PRODUCTS, INC., OR APPROVED EQUAL.

#### STANDARD PRECAST CONCRETE 2'x2' STORM INLET BOX WITH INLET TOP



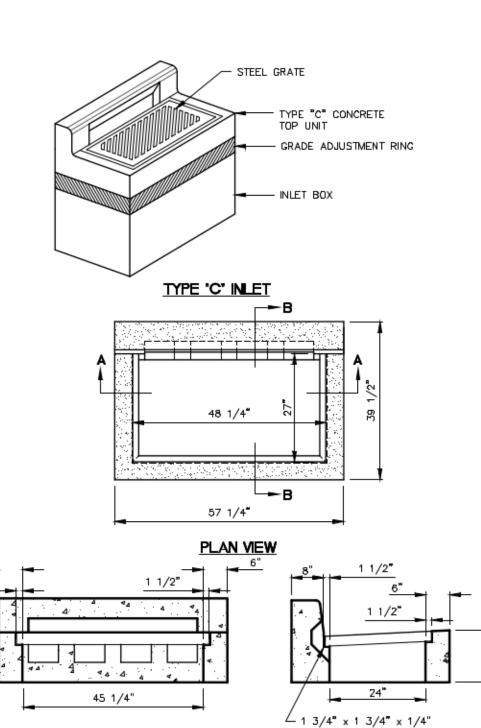


SECTION B-B TYPE 'M' CONCRETE TOP UNIT NOTE:

1. STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-34 STANDARDS FOR ROADWAY CONSTRUCTION

PENNDOT 2'x4' TYPE "M" STORM INLET

NO SCALE



TYPE 'C' CONCRETE TOP UNIT

NOTE:

1. STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-34 STANDARDS FOR ROADWAY CONSTRUCTION

PENNDOT 2'x4' TYPE "C" STORM INLET

NO SCALE

SECTION B-B

SECTION A-A

#### THREADED SCREW CAP - EXTEND CONCRETE COLLAR TO FINISHED BITUMINOUS PAVING -GRADE IN LAWN/GRASS OR GRAVEL AREAS (WHERE OCCURS) 6-1/2" PROVIDE APPROPRIATE WYE TO ATTACH CLEAN OUT - 6" DIA, PVC CLEAN OUT AND DRAIN PIPE PIPE (REFER TO SITE PLAN(S) FOR LOCATION) 12-1/2 DETAIL FRAME AND COVER - DRAIN PIPE (REFER TO SITE PLAN(S) PROFILE SHEETS FOR LOCATION, TYPE AND 1. REFER TO SITE PLAN AND/OR STORM PROFILE(S) FOR CLEANOUT LOCATIONS.

#### TYPICAL EXTERIOR STORM SEWER CLEANOUT NO SCALE

#### STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE NOTES

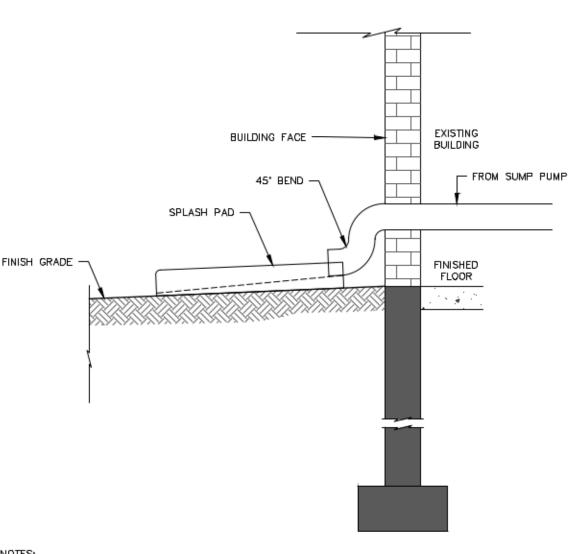
PERIOD NOT EXCEEDING 60 DAYS.

REQUEST BY THE MUNICIPALITY

- 1. THE OWNER OF THE PROPERTY ON WHICH THE STORMWATER MANAGEMENT FACILITIES (INFILTRATION BASINS 5 AND SUBSURFACE INFILTRATION BEDS 1 THROUGH 4) ARE CONSTRUCTED SHALL MAINTAIN THE BMPS IN GOOD CONDITION AND PROMPTLY REPAIR AND RESTORE ALL GRADE SURFACES, DRAINS, INLET STRUCTURES, VEGETATION AND OTHER PROTECTIVE DEVICES. SUCH REPAIRS OR RESTORATIONS, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH
- 2. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF THE BMPS UNTIL RELEASED FROM THIS PROJECT. THE LAND OWNERS/RESPONSIBLE PARTY (AS DEFINED BELOW) SHALL MAINTAIN THE BMPS THEREAFTER. 3. UPON RELEASE OF THE CONTRACTOR FROM REPAIR AND MAINTENANCE OF THE BMPS, THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIRING ANY STRUCTURAL DAMAGES OR FAILURES TO THE BMPS WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE RESPONSIBLE TO MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE, BUT, IN ANY CASE, WITHIN A
- 4. MAINTAIN AREAS DRAINING TO THE BMPS TO PREVENT SOIL WASHOUT INTO THE FACILITIES. IMMEDIATELY STABILIZE BARE SPOTS OR ERODED AREAS, IMMEDIATELY REMOVE ALL TRASH OR OTHER LITTER.
- 5. RESTRICT VEHICULAR OR OTHER EQUIPMENT TRAFFIC WITHIN THE INFILTRATION BASINS TO ONLY THAT IS NECESSARY FOR MOWING OR BMP REPAIRS.
- 6. PROHIBIT STORAGE OF SOIL, MULCH OR HAZARDOUS MATERIALS ON THE BMPS OR WITHIN AREAS THAT DRAIN TO 7. THE OWNER SHALL NOT CONSTRUCT, PLANT, OR MAINTAIN ANY STRUCTURES, FENCES, TREES, SHRUBBERY, ETC. WITHIN THE SANITARY SEWER, STORM WATER OR UTILITY RIGHTS-OF-WAY/EASEMENTS, TO ENSURE A FREE AND CLEAR ACCESS TO ALL FACILITIES. BITUMINOUS PAVING, COMMINGLING OF SANITARY SEWER, STORM WATER, OR
- 8. ALL INSPECTION RECORDS SHALL BE MAINTAINED BY THE LAND OWNER FOR NOT LESS THAN FIVE (5) YEARS AND SHALL BE MADE AVAILABLE TO THE MUNICIPALITY WITHIN FIVE (5) CALENDAR DAYS, OF RECEIPT OF WRITTEN

UTILITIES, OR CHANGE IN GROUND CONTOURS WITHIN THE RIGHTS-OF-WAY/EASEMENTS MAY BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE MUNICIPALITY.

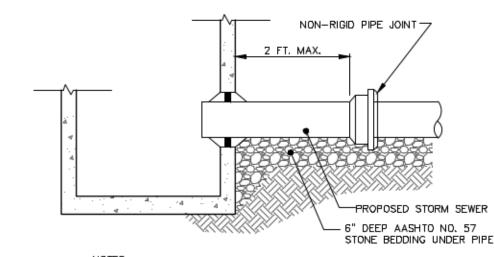
9. RESPONSIBLE PARTY: YORK COUNTY HERITAGE TRUST, HEIRS OR ASSIGNS.



1. MAINTAIN GRAVEL/PAVED AREAS AND SPLASH PADS IN STABLE CONDITIONS. REPAIR ANY EROSION OR WASHOUTS IMMEDIATELY. 2. CONTRACTOR SHALL DETERMINE THE FINAL LOCATIONS BASED UPON THE ARCHITECTURAL PLANS AND VERIFY THE FINAL PIPE SIZES AND CONNECTION POINTS WITH THE SITE ENGINEER

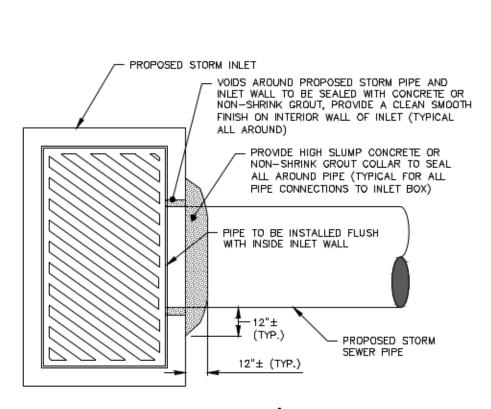
PRIOR TO BEGINNING CONSTRUCTION.

TYPICAL SPLASH PAD DETAIL
NO SCALE

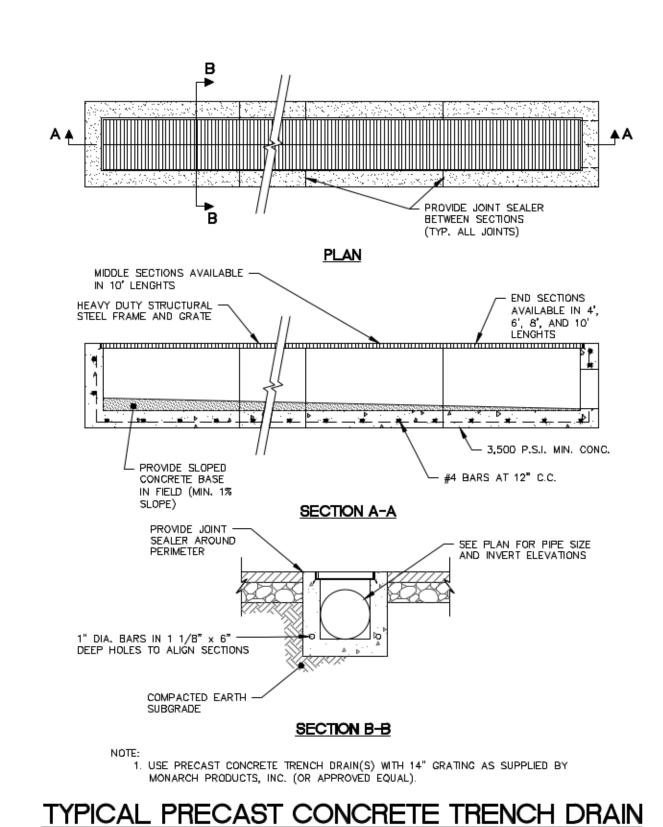


- NOTES:
  1. CUT HOLE IN EXISTING INLET WITH CORING MACHINE.
- 2. INSTALL RESILIENT GASKET TYPE SEAL PER ASTM C-923. 3. CAULK ANNULAR SPACE WITH PREFORMED PLASTIC SEALING COMPOUND.

#### CONNECTION OF PROPOSED STORM SEWER TO EXISTING INLET DETAIL



TYPICAL GROUTING/ENCASEMENT
AT STORM INLET/BOX
PIPE CONNECTION NO SCALE



NO SCALE

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